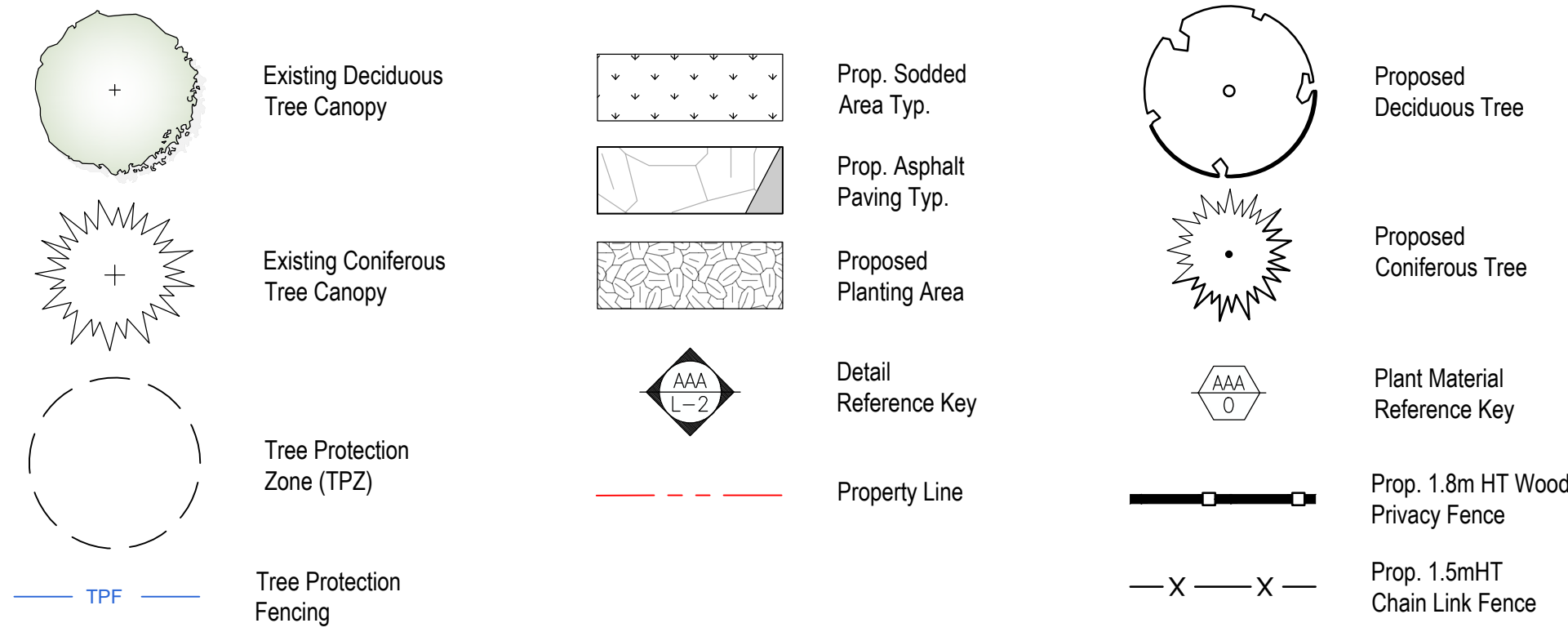
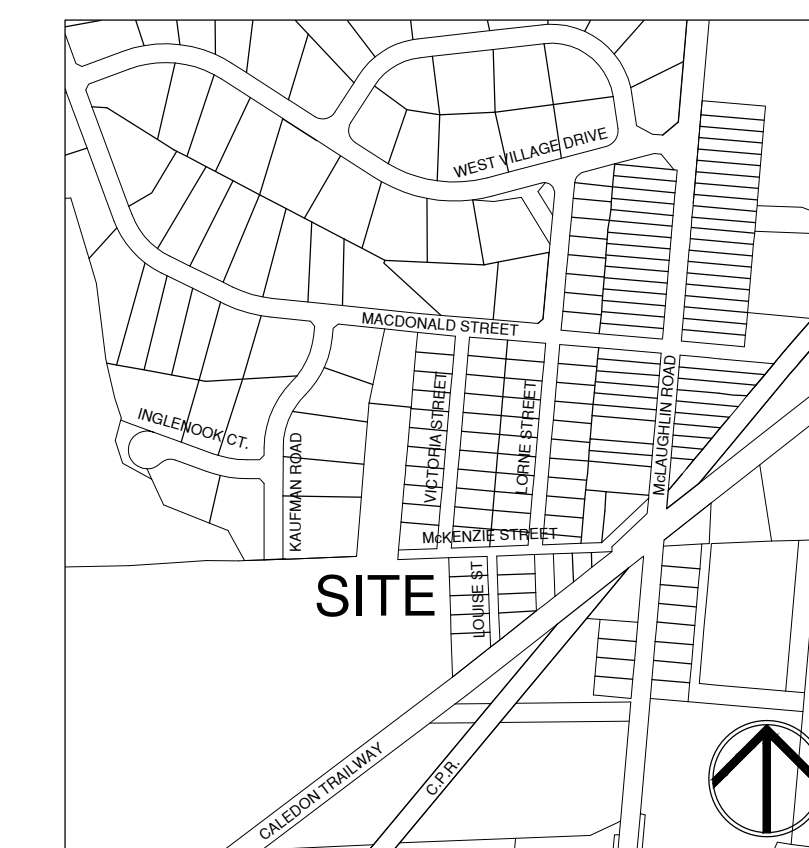


Legend



Proposed Plant Material List

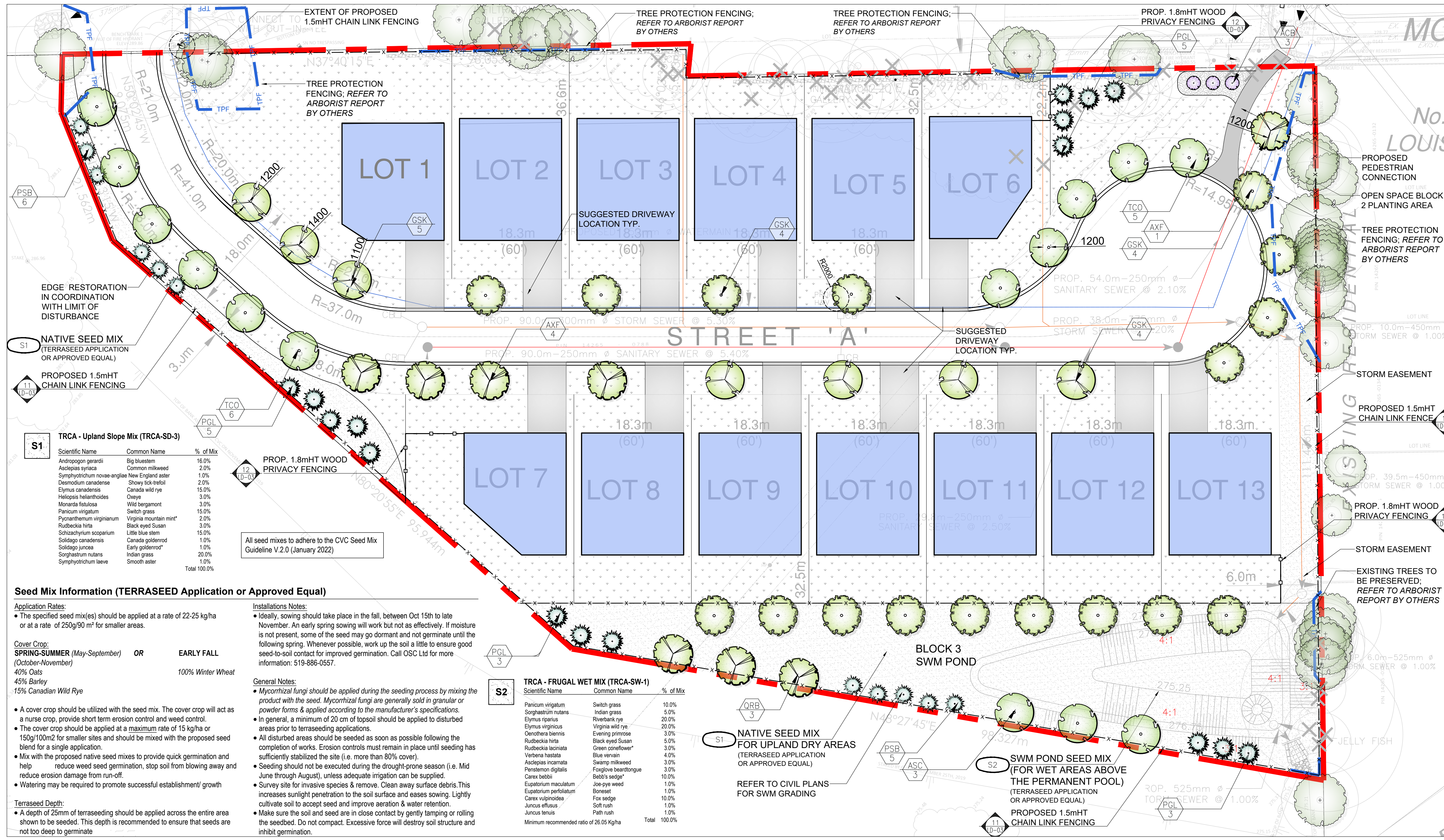
KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
ASC	3	Acer saccharum	Sugar Maple	70 mm		B.&B.	High	Yes	Full Form
AXF	5	Acer x freemanii 'Jeffersred'	Jeffersred Freeman Maple	70 mm		B.&B.	Yes	Yes	Full Form
GSK	17	Gleditsia triacanthos 'Skyline'	Skyline Honey-Locust	70 mm		B.&B.	High	Yes	Full Form
ORB	3	Quercus rubra	Red Oak	70 mm		B.&B.	Med.	Yes	Full Form
TCO	11	Tilia cordata 'Greenspire'	Greenspire Linden	70 mm		B.&B.	High	No	Full Form
SPECIMENS									
ACB	3	Amelancian canadensis 'Ballarina'	Ballarina Serviceberry	200 cm		B.&B.	Yes	Yes	Multi Stem
CONIFEROUS TREES									
PGL	16	Picea glauca	White Spruce	200 cm		B.&B.	High	Yes	Full Form
PSB	11	Pinus strobus	White Pine	200 cm		B.&B.	High	Yes	Full Form



msla
MARTON SMITH LANDSCAPE ARCHITECTS
170 The Donway W Suite 206
Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 | email. info@msla.ca

Architect:
QDCANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS
TEL. (905) 794-0600 FAX (905) 794-0611

Client/Owner:



Municipality:
THE TOWN OF CALEDON

Notes:
THE TOWN LANDSCAPE ARCHITECT IS TO INSPECT AND APPROVE STAKED TREE LOCATIONS PRIOR TO TREE DELIVERY. TREES ARE TO BE INSPECTED AND SIGNED OFF BY THE PROJECT LANDSCAPE ARCHITECT UPON DELIVERY AND UNACCEPTABLE TREES RETURNED TO THE NURSERY. PLEASE PROVIDE A MINIMUM 7 DAYS NOTICE TO COORDINATE INSPECTIONS WITH THE TOWN'S LANDSCAPE ARCHITECT RELATED TO THE APPLICATION. THE PROJECT LANDSCAPE ARCHITECT AND CONTRACTOR TO BE PRESENT.

04 Issued for Re-Submission 03/04/24
03 Issued for Re-Submission 19/03/24
02 Issued for Submission 15/06/23
01 Issued for Coordination 24/03/23
No. Revision Date

North: Stamp:

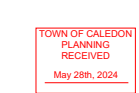
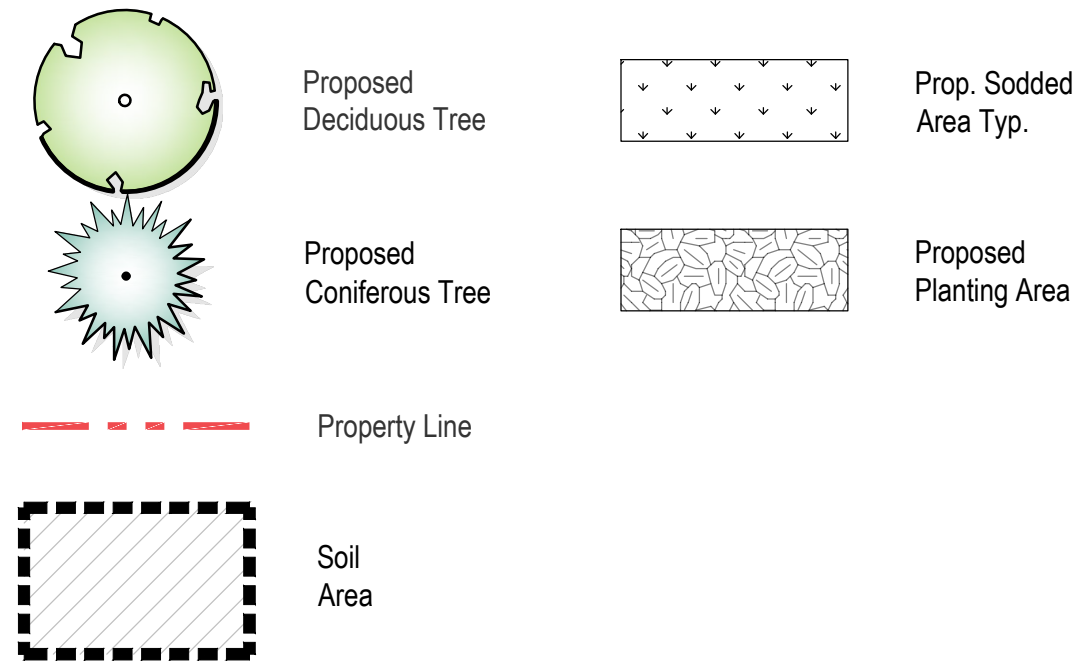
Project:
Proposed Subdivision & Parkette Development
0 McLaughlin Road
Caledon, Ontario

Scale: **1:300** Date: **March 2023**
Drawn By: **S.L.** Checked By: **L.M.**
Drawing Title:
Landscape Plan

Project No. **23113** Sheet No. **L1-01**

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 DO NOT SCALE DRAWINGS • PRELIMINARY NOT FOR CONSTRUCTION • THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L.A. ARCHITECT • DATE _____ SIGNED _____

Legend



Architect:



Client/Owner:



Municipality:



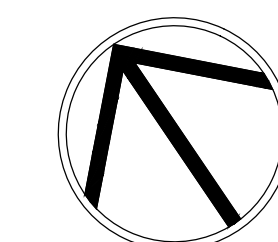
THE TOWN OF CALEDON

Notes:

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No.	Revision	Date
04	Issued for Re-Submission	03/04/24
03	Issued for Re-Submission	19/03/24
02	Issued for Submission	15/06/23
01	Issued for Coordination	24/03/23

North: Stamp:



Project:
Proposed Subdivision & Parkette Development
 0 McLaughlin Road
 Caledon, Ontario

Scale: **1:300** Date: **March 2023**

Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:

Soil Volume Plan

Project No. **23113** Sheet No. **L1-02**

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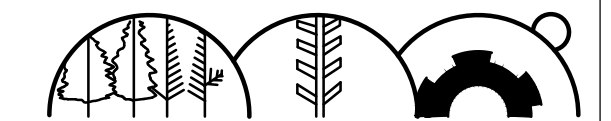
Architect:



TEL. (905) 794-0600 FAX (905) 794-0611

Client/Owner:

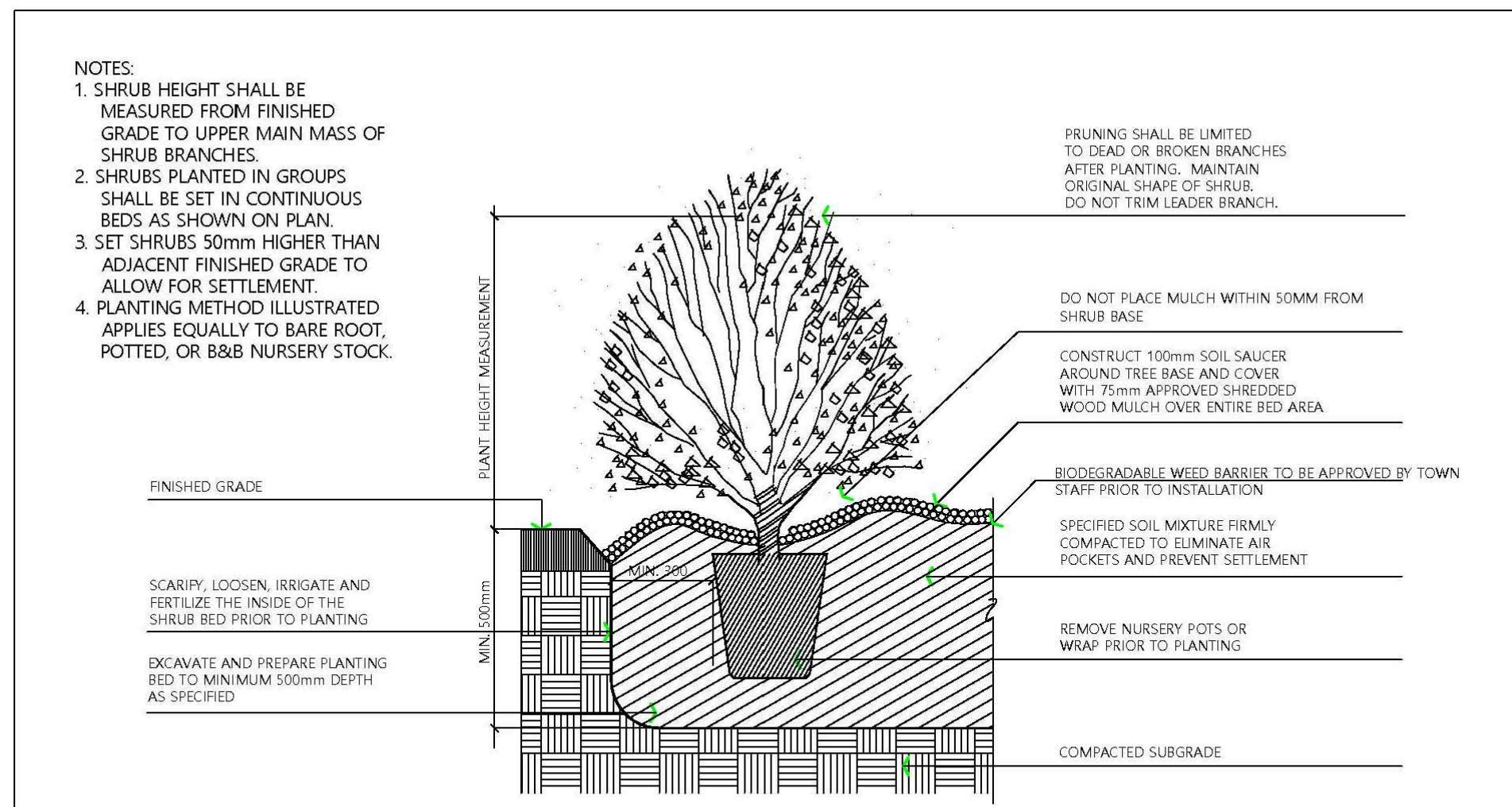
Municipality:



Notes:

Notes:

REFER TO PLAN FOR LOCATION

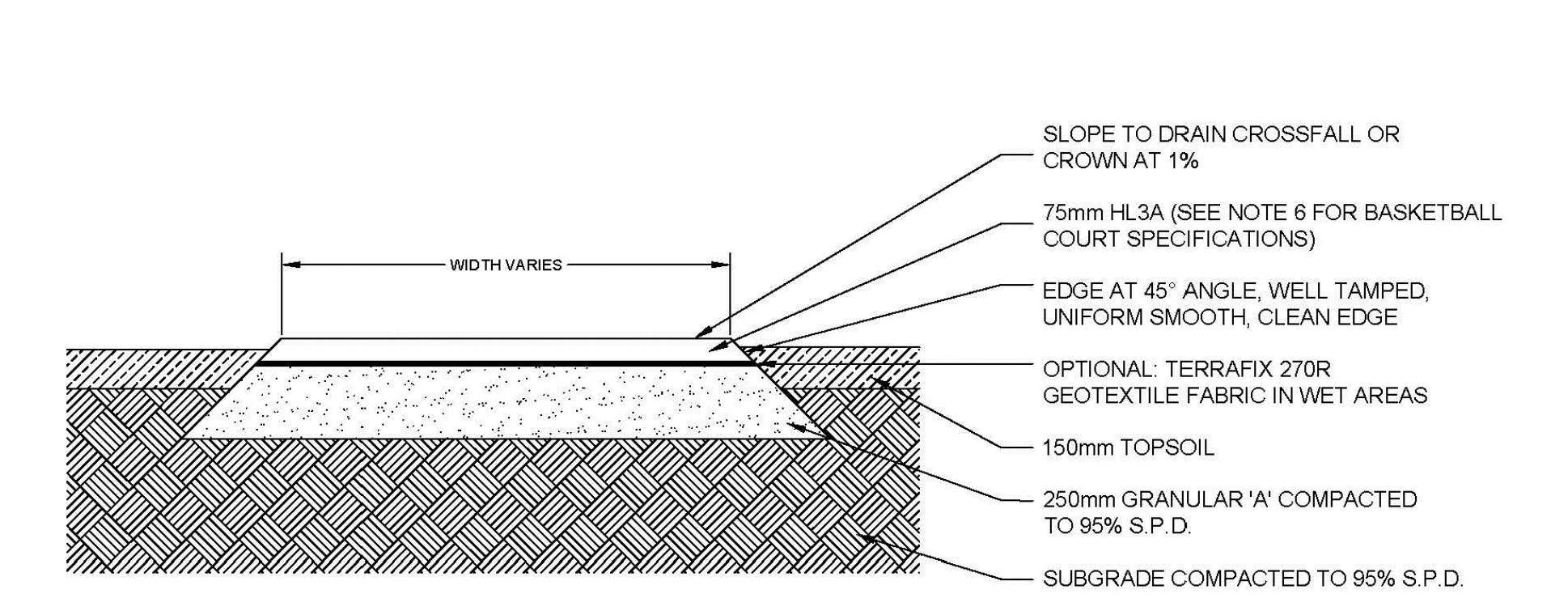


TOWN OF CALEDON	3	STANDARD No. 702 NOW 802	APR 19	APPRD. C.C.	DATE JUNE 08
SHRUB PLANTING	2	STANDARD No. 1110 NOW 702	JUNE 08	DRAWN: abal	SCALE: N.T.S.
	1	WEED BARRIER ADDED	MARCH 08		
	NO.	REVISION	APRD	DATE	STANDARD No. 802

SCALE: N.T.S.

9 LD-03

REFER TO PLAN FOR LOCATION



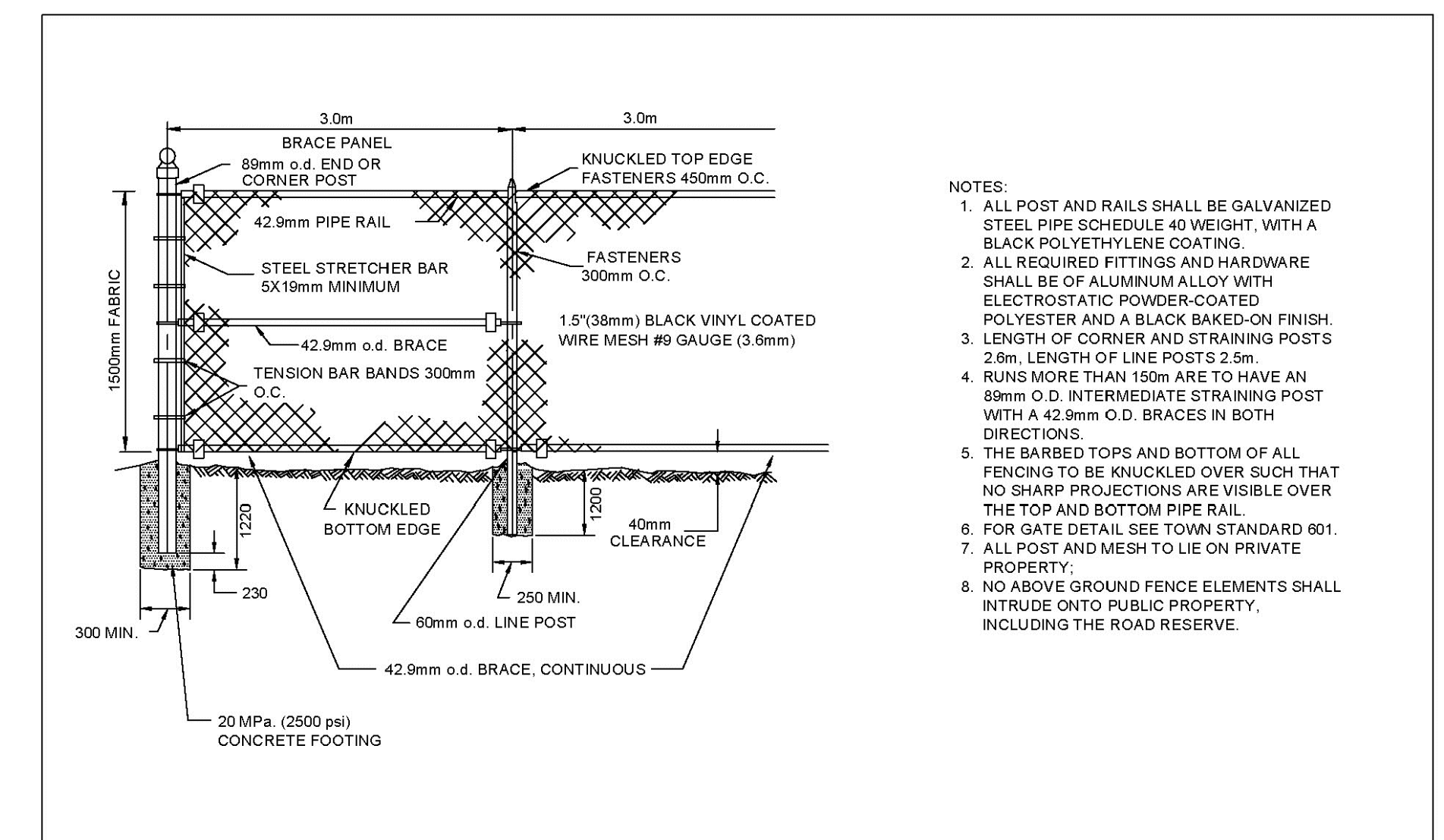
- NOTES:
1. EXCAVATE TO 325mm MINIMUM DEPTH. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNSUITABLE SUBGRADE MATERIAL SUCH AS TOPSOIL. REMOVE ALL EXCAVATED MATERIAL AND DISPOSE OF OFF SITE.
2. ALL DIMENSIONS IN MILLIMETRES.
3. ASPHALT AND GRANULAR BASE AMOUNT SPECIFICATIONS ARE MINIMUM AFTER COMPACTION.
4. SLOPE SUBGRADE PARALLEL TO FINISHED GRADE (MIN. 2% SLOPE).
5. WIDTH OF PATH TO BE IDENTIFIED ON LANDSCAPE PLANS.
6. THE BASKETBALL COURT ASPHALT SHALL BE INSTALLED IN TWO LIFTS WITH:
-50mm HL8 BASE COAT AND
-MINIMUM 30mm HL3A TOP COAT

TOWN OF CALEDON	2	TEXT UPDATE	AUG 19	APPRD. C.C.	DATE JUNE 08
ASPHALT PAVING WALKWAY DETAIL OR MULTI-USE COURT	1	STD 224 NOW STD 901	APR 19	DRAWN: B.B.	SCALE: N.T.S.
	NO.	REVISION	APRD	DATE	STANDARD No. 901

SCALE: N.T.S.

10 LD-03

REFER TO PLAN FOR LOCATION

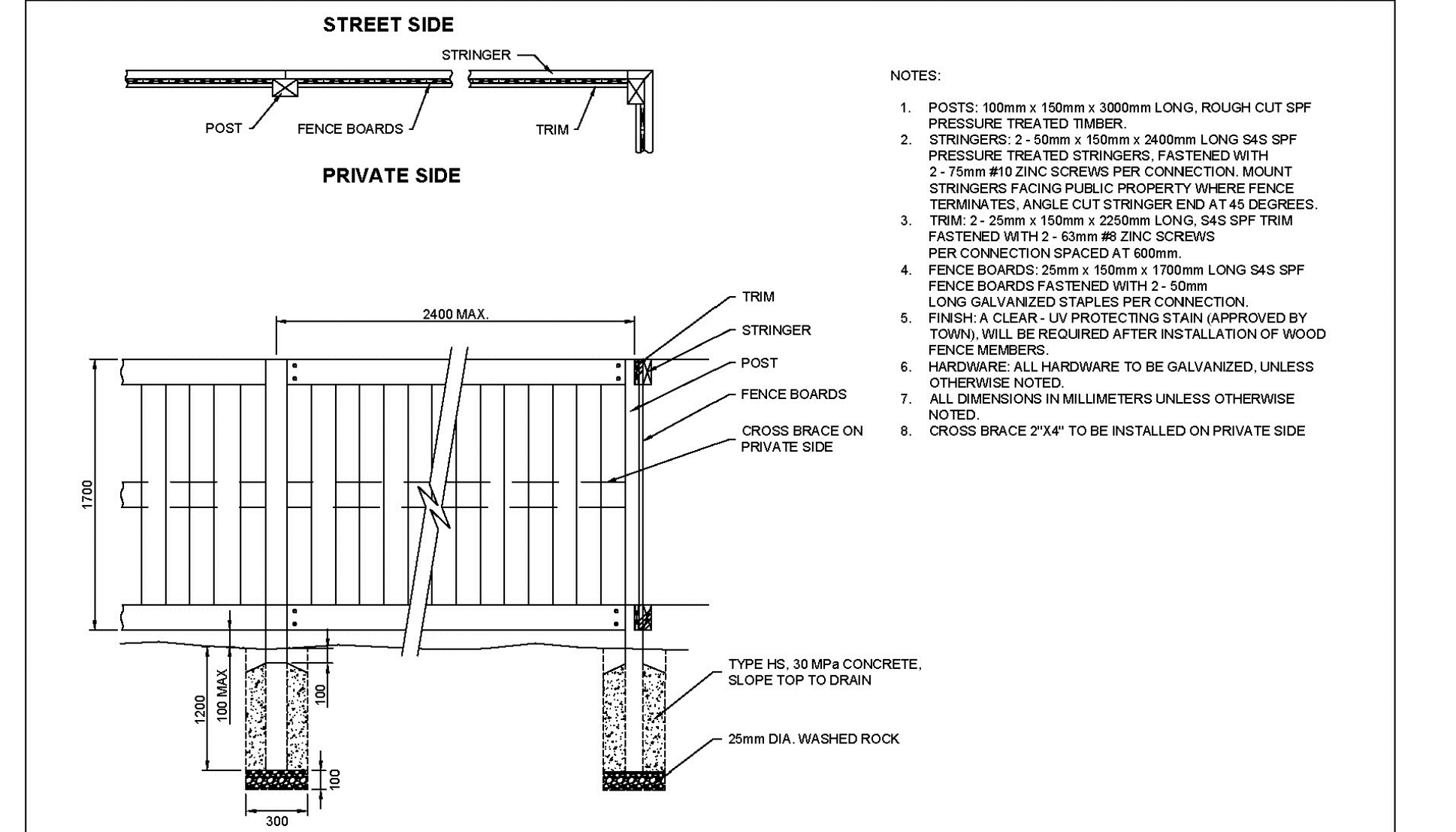


TOWN OF CALEDON	3	STANDARD No. 900 NOW 600	JUNE 08	APPRD. C.C.	DATE JAN 00
CHAIN LINK FENCE	2	PIPE WEIGHT	NOV. 06	DRAWN: BJM	SCALE: N.T.S.
	1	BOTTOM BRACE	JULY 03		
	NO.	REVISION	APRD	DATE	STANDARD No. 600

SCALE: N.T.S.

11 LD-03

REFER TO PLAN FOR LOCATION

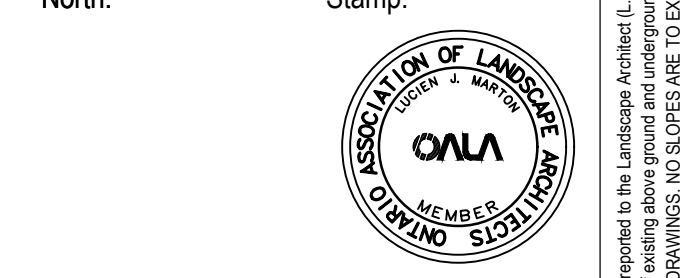


TOWN OF CALEDON	1	DRAWING & TEXT REVISIONS	MAY 19	APPRD. C.C.	DATE MAY 19
WOOD SCREEN FENCE DETAIL	NO.	REVISION	APRD	DATE	SCALE: N.T.S.
					STANDARD No. 605

SCALE: N.T.S.

12 LD-03

04	Issued for Re-Submission	03/04/24
03	Issued for Re-Submission	08/03/24
02	Issued for Submission	15/06/23
01	Issued for Coordination	24/03/23
No.	Revision	Date



Project:
Proposed Subdivision & Parkette Development
15544 McLaughlin Road
Caledon, Ontario

Scale: **As Shown** Date: **March 2023**

Drawn By: **S.L.** Checked By: **L.M.**

Drawing Title:
Landscape Details

Project No. **23113** Sheet No. **LD-03**

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