



12148 Albion Vaughan Road Condos

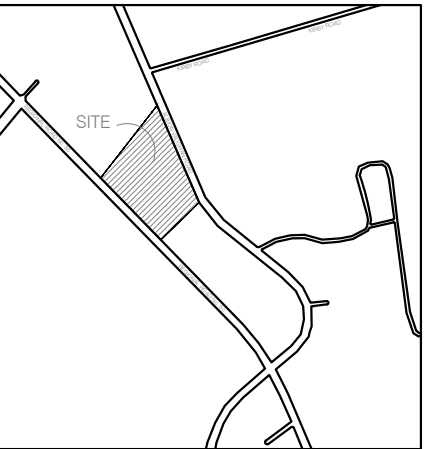
PROJECT ARCHITECTURAL DESIGN FCA Architects - FAUSTO CORTESE ARCHITECTS 3590 Rutherford Road, Unit 7 Woodbridge, Ontario L4H 3T8 T: 416-806-7000	PLANNING KLM PLANNING PARTNERS INC. PLANNING - DESIGN - DEVELOPMENT 64 Jardin Drive, Unit 1B Concord, Ontario L4K 3P3 T: 905-669-4055	LANDSCAPE MSLA MARTON SMITH LANDSCAPE ARCHITECTS 170 The Don Way West, Suite 206 North York, Ontario M2C 2G3 T: 416-492-9066	ENGINEERING CONSULTANTS TRISTAR ENGINEERING LTD. 8501 Woodbine Ave., Suite 116 Markham, Ontario L3R 9Y4 T: 905-604-3801	ACOUSTIC HGC ENGINEERING - Howe Gastmeier Chapnik Limited NOISE - VIBRATION - ACOUSTICS 2000 Argentea Rd 1, Suite 203 Mississauga, Ontario L5N 1P7 T: 905-526-4044	TRANSPORTATION CONSULTANTS PARADIGM TRANSPORTATION SOLUTIONS LIMITED 150 Pinetush Rd. Suite 5A Cambridge, Ontario N1R 6J8 T: 416-479-0684	CIVIL CONSULTANTS MASONSCONG ASSOCIATES ENGINEERING LIMITED 7800 Kennedy Road, Suite 20 Markham, Ontario L3R 2C7 T: 905-944-0162
--	--	---	---	--	--	---

GENERAL NOTES	
1.	For landscaping, refer to landscape drawings
2.	For proposed grading, refer to landscape drawings and approved grading plan.
3.	For detailed lighting plan, refer to lighting drawings.
4.	All perimeter existing information indicated taken from survey.
5.	All work to be done in conformance with the 2012 Ontario Building Code (O.B.C., as amended)

LIST OF ARCHITECTURAL DRAWINGS	
A1.0	COVER PAGE
A1.1	SITE PLAN
A1.2	SITE DETAILS & AREAS
A1.3	SHADOW STUDY
A1.4	EXCAVATION AND FORMING PHASES PLAN
A2.0	P1 LEVEL (TOWNHOMES, TOWERS A & B)
A2.1	P2 LEVEL (TOWNHOMES, TOWERS A & B)

LIST OF ARCHITECTURAL DRAWINGS	
A2.2A	MAIN FLOOR PLAN TOWER A
A2.2B	MAIN FLOOR PLAN TOWER B
A2.3A	2ND FLOOR PLAN - TOWER A
A2.3B	2ND FLOOR PLAN - TOWER B
A2.4A	3RD TO 6TH FLOOR PLAN - TOWER A
A2.4B	3RD TO 7TH FLOOR PLAN - TOWER B
A2.5A	PENTHOUSE - TOWER A

LIST OF ARCHITECTURAL DRAWINGS	
A2.5B	PENTHOUSE - TOWER B
A2.6	MAIN AMENITY CORE FLOOR PLANS
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	ELEVATIONS
A4.0	BUILDING SECTIONS



KEY PLAN



**TOWN OF CALEDON
PLANNING
RECEIVED
June 17, 2024**

No.	DESCRIPTION	DATE
4	RE-DESIGNED FOR SPA	2024-05-07
3	RE-DESIGNED FOR SPA	2024-04-10
2	DESIGNED FOR COORDINATION	2023-12-04
1	RE-DESIGNED FOR SPA	2023-03-13

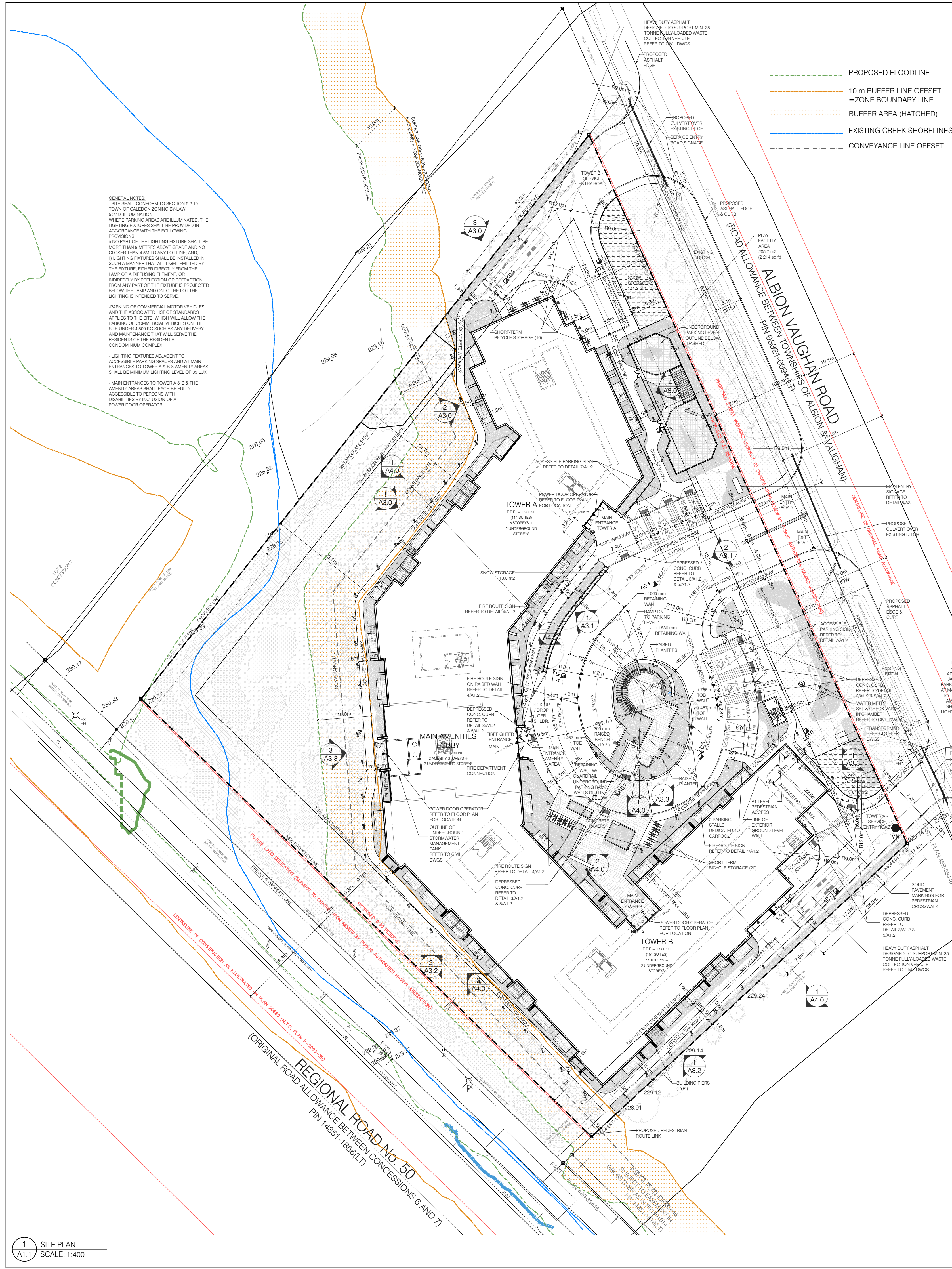
ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2021-01-27
 SUBMITTALS
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE
 CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

DRAWING: COVER PAGE	
DATE	05/04/2024
SCALE	AS NOTED
DRAWN BY	AD
REVIEWED BY	F.C.
PROJECT No.	2019-22
DRAWING No.	A1.0

PLOT SCALE: 1" = 10'



LOT AREA BREAKDOWN

GROSS SITE AREA (BEFORE ROAD WIDENING)	15,375.96 m ² (165,505 sq/ft) 1.54 ha
HWY 50 LAND DEDICATION	811.65 m ² (8,737 sq/ft)
ALBION/VAUGHAN ROAD WIDENING	1,151.89 m ² (12,399 sq/ft)
0.3m RESERVES	78.59 m ² (846 sq/ft)
DEVELOPABLE SITE AREA (AFTER ROAD WIDENING & RESERVE DEDUCTIONS)	13,333.83 m² (143,524 sq/ft) 1.33 ha
NATURAL HERITAGE/10m BUFFER AREA	3,077.84 m ² (33,130 sq/ft)
NET DEVELOPABLE AREA	10,255.99 m² (110,394 sq/ft) 1.03 ha
NET DENSITY (UNIT/HECTARE)	257.4

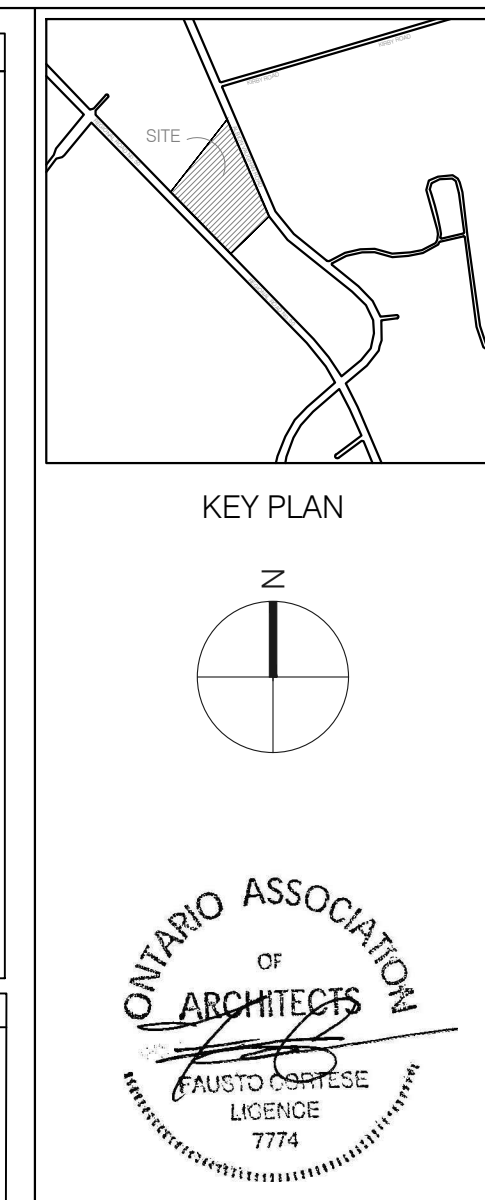
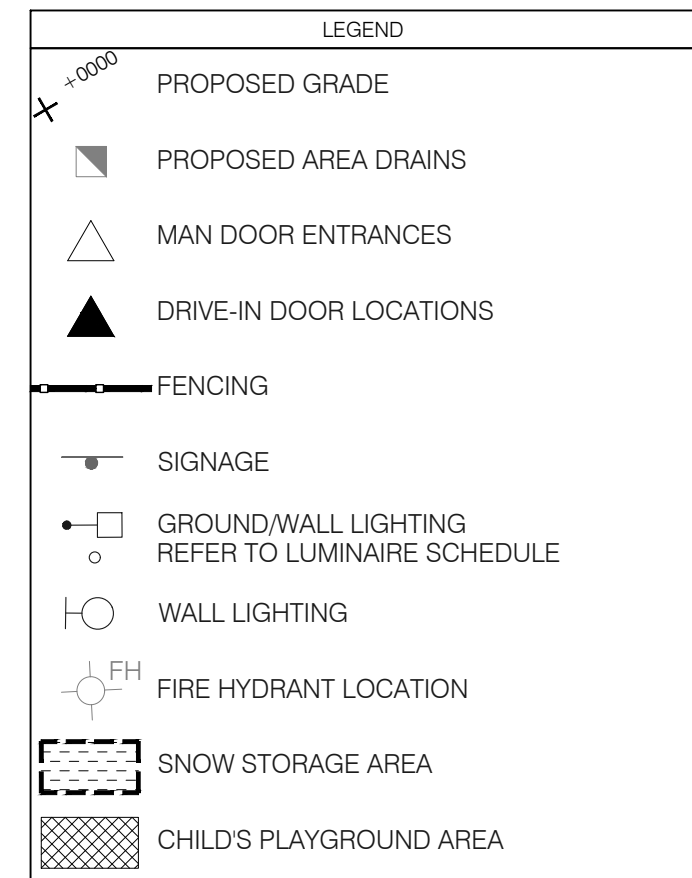
SURVEYOR'S REAL PROPERTY REPORT PART 1, PLAN OF PART OF LOT 1
 CONCESSION 7 (GEOGRAPHIC TOWNSHIP OF ALBION)
 TOWN OF CALEDON REGIONAL MUNICIPALITY OF PEEL
 SCALE AS NOTED IN ORIGINAL SURVEY PLAN David B. Searles Surveying Ltd. ONTARIO LAND SURVEYORS

METRIC
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BENCH MARK NOTE
 ELEVATIONS ARE REFERRED TO THE CITY OF BRAMPTON BENCHMARK No. 042010221, BEING A BRASS CAP IN CONCRETE APPROX. 21 m SOUTH OF CENTRELINE OF NASHVILLE ROAD AND 11 m EAST OF CENTRELINE OF REGIONAL ROAD 50, IN FRONT OF GAS STATION/COFFEE SHOP HAVING AN ELEVATION OF 220.967 m.

CAUTION
 LOCATIONS OF ALL UTILITIES ARE APPROXIMATE. ALL UTILITIES SHOULD BE CONTACTED PRIOR TO ANY DIGGING OR CONSTRUCTION.

NOTE
 PROPERTY LIMITS ARE NOT FENCED UNLESS OTHERWISE NOTED ON THE FACE OF THE PLAN.



GENERAL NOTES

1. SITE SHALL CONFORM TO SECTION 6.2.19 TOWN OF CALEDON ZONING BY-LAW 52.19. ILLUMINATION WHERE PARKING AREAS ARE ILLUMINATED THE LIGHTING FIXTURES SHALL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING PROVISIONS:

1. NO PART OF THE LIGHTING FIXTURE SHALL BE MORE THAN 1.8 METRES ABOVE GRADE AND NO CLOSER THAN 4.5M TO ANY LOT LINE AND, 2. LIGHTING FIXTURES SHALL BE INSTALLED IN SUCH A MANNER THAT ALL LIGHT EMITTED BY THE FIXTURE, EITHER DIRECTLY FROM THE LAMP OR BY REFLECTION OR REFRACTION FROM ANY PART OF THE FIXTURE IS PROJECTED BELOW THE LAMP AND ONTO THE LOT THE LIGHTING IS INTENDED TO SERVE.

PARKING OF COMMERCIAL MOTOR VEHICLES AND THE ASSOCIATED LIST OF STANDARDS APPLIES TO THE SITE, WHICH WILL ALLOW THE PARKING OF COMMERCIAL VEHICLES ON THE SITE UNDER ISSUES SUCH AS: DELIVERY AND MAINTENANCE THAT WILL SERVE THE RESIDENTS OF THE RESIDENTIAL CONDOMINIUM COMPLEX.

LIGHTING FEATURES ADJACENT TO ACCESSIBLE PARKING SPACES AND AT MAIN ENTRANCES TO TOWER A & B & AMENITY AREAS SHALL BE MINIMUM LIGHTING LEVEL OF 35 LUX.

MAIN ENTRANCES TO TOWER A & B & THE AMENITY AREAS SHALL FACILITATE FULLY ACCESSIBLE TO PERSONS WITH DISABILITIES BY INCLUSION OF A POWER DOOR OPERATOR.

SITE DEVELOPMENT STATS

A - ZONING	REQUIRED	PROPOSED
ZONE	RR - RURAL RESIDENTIAL	RM - MULTIPLE RESIDENTIAL

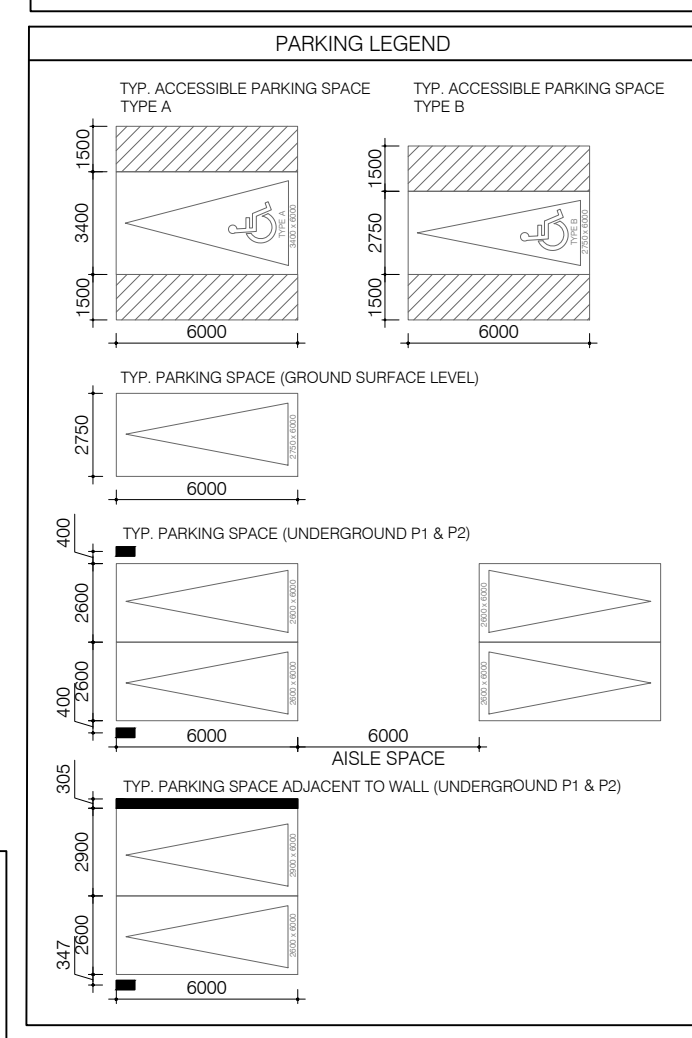
B - LOT AREA	REQUIRED	PROPOSED
GROSS SITE AREA (BEFORE ROAD WIDENING)	650 m ²	15375.96 m ²
DEVELOPABLE SITE AREA (AFTER ROAD WIDENING)	N/A	13333.83 m ²
NET DEVELOPABLE AREA	N/A	10255.99 m ²

C - SITE STATISTICS	REQUIRED	PROVIDED
BUILDING HEIGHT #FROM FIN. GRADE	12.2 m	25.9 m
LOT COVERAGE	2051.2 m ² (20% MAX.)	4872.0 m ² (47.5%)
LANDSCAPE AREA	4615.2 m ² (45% MIN.)	3075.1 m ² (30.0%)
FRONTAGE	30 m (MIN.)	106.9 m
FRONT YARD	9.0 m (MIN.)	9.2 m
REAR YARD	7.5 m (MIN.)	0.0 m
SOUTH SIDE YARD	7.5 m (MIN.)	5.5 m
NORTH SIDE YARD	7.5 m (MIN.)	5.7 m
SNOW STORAGE	205.1 m ² (2% MIN.)	239.8 m ² (2.3%)
PLAY FACILITY AREA (OUTDOOR)	410.2 m ² (4% MIN.)	205.7 m ² (2.0%)
PRIVATE AMENITY AREA (PER UNIT)	N/A	6.5 m ² (1.8 m X 3.6 m)
PUBLIC AMENITY AREA	2051.2 m ² (20% MIN.)	2158.9 m ² (21.1%)
SHARED COMMON AMENITY AREA (PLAY FACILITY + PUBLIC AMENITY)	N/A	2364.6 m ² (23.1%)

D - NET DENSITY (UNITS/HECTARE)	REQUIRED	PROVIDED
TOTAL DENSITY (UNITS/TOTAL NET DEVELOPABLE AREA)	N/A	258 (264/1.025599)

E - PARKING	REQUIRED	PROVIDED
CONDO RESIDENT PARKING SPACES (1.5 SPOTS PER DWELLING UNIT)	396 (1.5 * 264)	401
CONDO VISITOR PARKING SPACES (0.25 SPOTS PER DWELLING UNIT)	66 (0.25 * 264)	67
ACCESSIBLE PARKING (2% OF TOTAL + 2)	12 (INCLUDED IN TOTAL ABOVE)	12 (INCLUDED IN TOTAL ABOVE)
TOTAL PARKING	462	468

F - STORAGE	REQUIRED	PROVIDED
BICYCLE STORAGE	N/A	86
LOCKER STORAGE	N/A	271



LOT COVERAGE BREAKDOWN

TOWER A FLOOR AREA	1829.3 m ²
TOWER A BALCONIES	280.3 m ²
TOTAL TOWER A BUILDING AREA	2109.6 m²
TOWER B FLOOR AREA	2019.1 m ²
TOWER B BALCONIES	310.6 m ²
TOTAL TOWER B BUILDING AREA	2329.7 m²
TOTAL FLOOR AREA (TOWER A + TOWER B + AMENITY)	4827.0 m²

STORAGE BREAKDOWN

	BICYCLE STORAGE			LOCKER STORAGE
	LONG TERM	SHORT-TERM	TOTAL	TOTAL
FLOORS 1-7 - PERHOUSE	0	0	0	79
GROUND SURFACE LEVEL	0	30	30	0
P1 LEVEL	28	0	28	96
P2 LEVEL	28	0	28	96
GRAND TOTAL	56	30	86	271

PUBLIC AMENITY AREA BREAKDOWN

GROUND FLOOR LEVEL	432.7 m ²
2ND FLOOR LEVEL	432.7 m ²
TOWER A (ROOF LEVEL)	664.8 m ²
TOWER B (ROOF LEVEL)	628.7 m ²
TOTAL GFA	2158.9 m²

PARKING BREAKDOWN

	PARKING PROVIDED		
	VISITOR	RESIDENT	TOTAL
P1 LEVEL	59	164	223
P2 LEVEL	0	237	237
GROUND SURFACE LEVEL	8	0	8
GRAND TOTAL PARKING PROVIDED	67	401	468 SPOTS PROV.

EV PARKING

GROUND SURFACE LEVEL	8
P1 LEVEL	29
P2 LEVEL	38
GRAND TOTAL EV PARKING SPOTS	75

ACCESSIBLE PARKING

GROUND SURFACE LEVEL	4
P1 LEVEL	8
P2 LEVEL	0
GRAND TOTAL ACCESSIBLE PARKING SPOTS	12

REVISIONS

No.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	2024-01-27
2	ISSUED FOR BUILDING PERMIT	2024-01-27
3	ISSUED FOR SITE PLAN APPROVAL	2024-01-27

ISSUED FOR CONSTRUCTION
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2024-01-27

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED AND SIGNED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESI ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESI@FCAARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD. BOLTON TOWN OF CALEDON

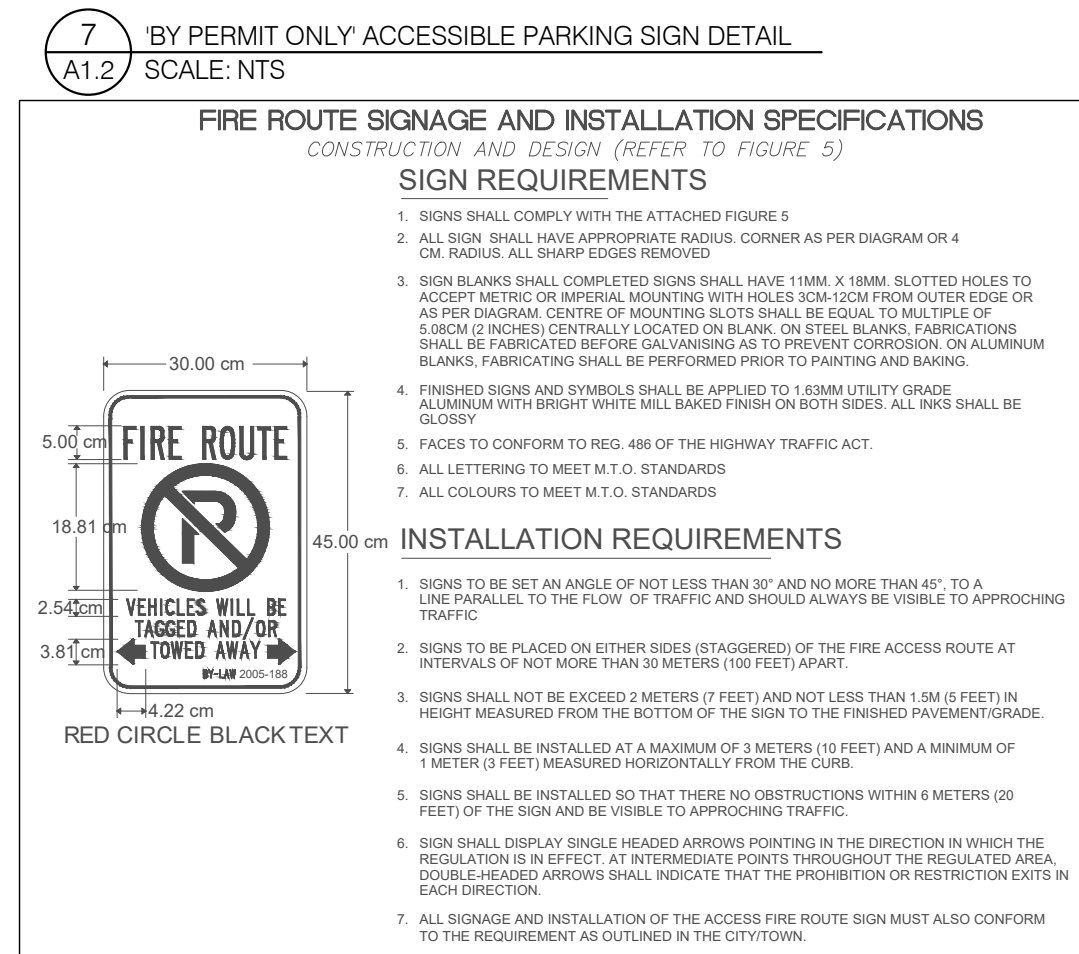
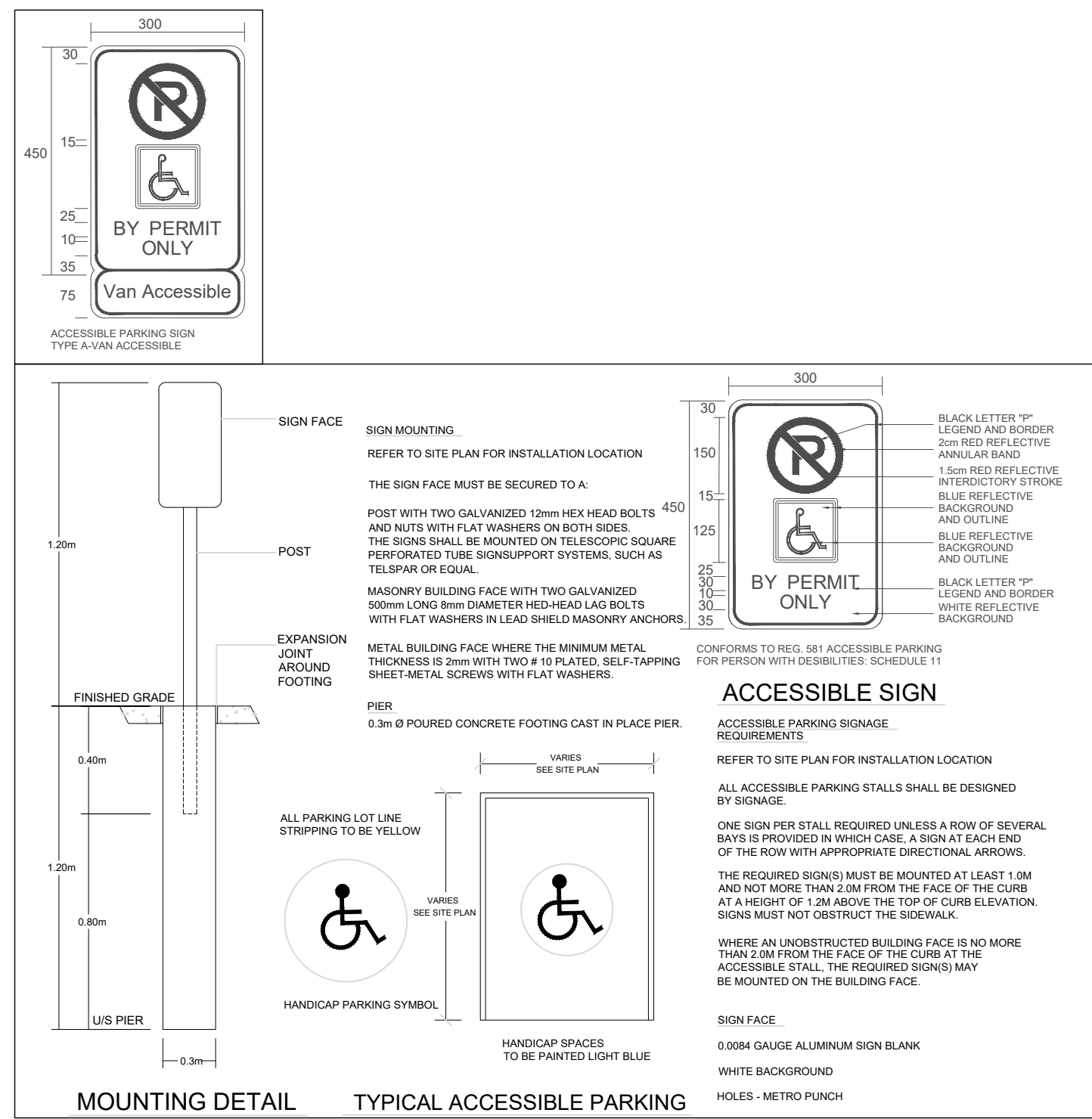
SITE PLAN

DATE: 09/04/2024 PROJECT NO: 2019-22
 SCALE: AS NOTED DRAWING NO: A1.1
 DESIGNED BY: AD REVIEWED BY: F.C.

ITEM	Ontario Building Code Data Matrix - Part 3 & 9				OBC Reference					
	Project Description: 3 & 6 Storeys Condo Building	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Part 11	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9	References are to Division B unless noted (A) for Division A or (C) for Division C.				
1	Project Description: 3 & 6 Storeys Condo Building	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Part 11	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9	1.1.2 [A] 9.10.1.3.				
2	Major Occupancy(s) Group C	<input type="checkbox"/> Change of Use	<input type="checkbox"/> Addition	<input type="checkbox"/> Alteration	11.1 to 11.4	9.10.2.				
3	Building Area (m ²) NEW: 2261.94 m ² TOTAL: 2261.94 m ²			1.4.1.2 [A] 1	1.4.1.2 [A]					
4	Gross Area (m ²) NEW: 13132.05 m ² TOTAL: 13132.05 m ²			1.4.1.2 [A]	1.4.1.2 [A]					
5	Number of Storeys Above Grade: 6 Below Grade: 2			1.4.1.2 [A] & 3.2.1.1	1.4.1.2 [A] 9.10.4.					
6	Number of Streets/Fire Fighter Access: 1			3.2.2.10 & 3.2.5.	9.10.20.					
7	Building Classification: 3.2.2.43 GROUP C			3.2.2.43	9.10.2.					
8	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building	<input type="checkbox"/> in lieu of roof rating	<input type="checkbox"/> not required	<input type="checkbox"/> EXISTING NO CHANGE	3.2.2.67 3.2.1.5 3.2.2.17 INDEX				
9	Standpipe required	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.9. N/A				
10	Fire Alarm required	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.4. 9.10.18.				
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.5.7. N/A				
12	High Building	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.6. N/A				
13	Construction Restrictions Actual Construction	<input type="checkbox"/> Combustible Permitted	<input checked="" type="checkbox"/> Non-combustible Required	<input type="checkbox"/> Both		3.2.2.67 9.10.6.				
14	Mezzanine Area (m ²): N/A			3.2.1.1 (3)-(8)	9.10.4.1.					
15	Occupant load based on	<input type="checkbox"/> m ² /person	<input checked="" type="checkbox"/> design of building			3.1.1.7 9.9.1.3.				
16	Barrier-free Design	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No (Explain):			3.8 9.5.2.				
17	Hazardous Substances	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.3.1.2 & 3.3.1.19 9.10.1.3 (4) 9.10.8 9.10.9.				
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies		Listed Design No. or Description (SB-3)		3.2.2.20-.83 & 3.2.1.4 9.10.8 9.10.9.				
		Floor:	0 Hours							
		Roof:	1 Hours							
		FRR of Supporting Members		Listed Design No. or Description (SB-3)						
		Floor:	1 Hours							
		Roof:	1 Hours							
19	Spatial Separation - Construction of Exterior Walls - Existing Building			3.2.3	9.10.14.					
	Wall Area of EBF (m ²)	L.D. (m)	L.H. or H.L.	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Const. Nonc. Cladding	Non-Comb Const.
	North	-	-	-	-	-	-	-	-	-
	South	-	-	-	-	-	-	-	-	-
	East	-	-	-	-	-	-	-	-	-
	West	-	-	-	-	-	-	-	-	-

ITEM	Ontario Building Code Data Matrix - Part 3 & 9				OBC Reference					
	Project Description: 7 Storey Condo Building	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Part 11	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9	References are to Division B unless noted (A) for Division A or (C) for Division C.				
1	Project Description: 7 Storey Condo Building	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Part 11	<input checked="" type="checkbox"/> Part 3	<input type="checkbox"/> Part 9	1.1.2 [A] 1.1.2 9.10.1.3.				
2	Major Occupancy(s) Group C	<input type="checkbox"/> Change of Use	<input type="checkbox"/> Addition	<input type="checkbox"/> Alteration	11.1 to 11.4	9.10.2.				
3	Building Area (m ²) NEW: 2019.14 m ² TOTAL: 2019.14 m ²			1.4.1.2 [A] 1	1.4.1.2 [A]					
4	Gross Area (m ²) NEW: 15601.62 m ² TOTAL: 15601.62 m ²			1.4.1.2 [A]	1.4.1.2 [A]					
5	Number of Storeys Above Grade: 7 Below Grade: 2			1.4.1.2 [A] & 3.2.1.1	1.4.1.2 [A] 9.10.4.					
6	Number of Streets/Fire Fighter Access: 1			3.2.2.10 & 3.2.5.	9.10.20.					
7	Building Classification: 3.2.2.42 GROUP C			3.2.2.42	9.10.2.					
8	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building	<input type="checkbox"/> in lieu of roof rating	<input type="checkbox"/> not required	<input type="checkbox"/> EXISTING NO CHANGE	3.2.2.67 3.2.1.5 3.2.2.17 INDEX				
9	Standpipe required	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.9. N/A				
10	Fire Alarm required	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.4. 9.10.18.				
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.5.7. N/A				
12	High Building	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.2.6. N/A				
13	Construction Restrictions Actual Construction	<input type="checkbox"/> Combustible Permitted	<input checked="" type="checkbox"/> Non-combustible Required	<input type="checkbox"/> Both		3.2.2.67 9.10.6.				
14	Mezzanine Area (m ²): N/A			3.2.1.1 (3)-(8)	9.10.4.1.					
15	Occupant load based on	<input type="checkbox"/> m ² /person	<input checked="" type="checkbox"/> design of building			3.1.1.7 9.9.1.3.				
16	Barrier-free Design	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No (Explain):			3.8 9.5.2.				
17	Hazardous Substances	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No			3.3.1.2 & 3.3.1.19 9.10.1.3 (4) 9.10.8 9.10.9.				
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies		Listed Design No. or Description (SB-3)		3.2.2.20-.83 & 3.2.1.4 9.10.8 9.10.9.				
		Floor:	0 Hours							
		Roof:	2 Hours							
		FRR of Supporting Members		Listed Design No. or Description (SB-3)						
		Floor:	2 Hours							
		Roof:	2 Hours							
19	Spatial Separation - Construction of Exterior Walls - Existing Building			3.2.3	9.10.14.					
	Wall Area of EBF (m ²)	L.D. (m)	L.H. or H.L.	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Const. Nonc. Cladding	Non-Comb Const.
	North	-	-	-	-	-	-	-	-	-
	South	-	-	-	-	-	-	-	-	-
	East	-	-	-	-	-	-	-	-	-
	West	-	-	-	-	-	-	-	-	-

9 OBC MATRIX SCALE: NTS



4 FIRE ROUTE SIGN DETAIL SCALE: NTS

Symbol	Qty	Label	Luminaire Schedule	LLF	Luminaire Lumens	Luminaire Watts
□	2	A	MRS-LED-06L-SIL-2-Voltage-DIM-30-70CRI-IL c/w 18' Pole on a 6 inch high concrete base. Die-Cast Aluminum housing, one piece silicon optics, IP66 to IEC 60598,	0.880	3727	39
□	4	B	MRS-LED-03L-SIL-3-Voltage-DIM-30-70CRI-IL c/w 15' Pole on a 3ft concrete base. Die-Cast Aluminum housing, one piece silicon optics, IP66 to IEC 60598, c/w 6ft long arm	0.580	4030	21
□	1	B1	MRS-LED-06L-SIL-3-Voltage-DIM-30-70CRI-IL c/w 15' Pole on a 3ft concrete base. Die-Cast Aluminum housing, one piece silicon optics, IP66 to IEC 60598,	0.880	4030	39
□	2	B2	MRS-LED-06L-SIL-3-Voltage-DIM-30-70CRI-IL c/w 18' Pole on a 6inch concrete base. Die-Cast Aluminum housing, one piece silicon optics, IP66 to IEC 60598,	0.880	4030	39
□	1	C	MRS-LED-06L-SIL-3-Voltage-DIM-30-70CRI c/w 15' Pole on a 3ft concrete base. Die-Cast Aluminum housing, one piece silicon optics, IP66 to IEC 60598,	0.880	6017	39
□	5	C1	MRS-LED-06L-SIL-3-Voltage-DIM-30-70CRI-IL c/w 15' Pole on a 3ft concrete base. Die-Cast Aluminum housing, one piece silicon optics, IP66 to IEC 60598,	0.880	4030	39
○	72	D	R2RB1-PLED-III-M-20LED-175mA-30K-HS, shaft and base must be Extruded aluminum (6061-T6 alloy). Optical assembly shall be constructed with heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins	0.930	1261	11
□	1	F	MRS-LED-06L-SIL-4-Voltage-DIM-30-70CRI-IL c/w 15' Pole on a 3ft concrete base. Die-Cast Aluminum housing, one piece silicon optics, IP66 to IEC 60598,	0.880	3581	39
○	5	PT	OPS-PT-6L-5D-Voltage-30K8, c/w 15' Pole, Type 5 diffused optics for visual comfort, MRS-LED-06L-SIL-3-Voltage-DIM-30-70CRI-IL c/w 18' Pole on a 6inch concrete base. Die-Cast Aluminum housing, IP66 to IEC 60598,	0.900	5097	41
□	11	WL	NO13BL-PP-Finish-8140R-Voltage, Surface Mounted, ADA compliant, Shall have marine grade aluminum base plate with UV stabilized high impact injection molded polycarbonate lens	0.900	963	11.47
□	2	WL1	WPSLS-01L-40	0.900	1286	12.34

9 OBC MATRIX SCALE: NTS

BUILDING STATISTICS			
UNDERGROUND LEVEL	QTY.	m ²	SOFT
PARKING LEVEL 1 - P1	1	9040.92	97315.65
PARKING LEVEL 2 - P2	1	9040.92	97315.65
TOTAL GFA		18081.84	194631.31
TOWER A (RESIDENTIAL CONDO)			
GROUND FLOOR LEVEL	1	1713.24	18441.16
2ND FLOOR LEVEL	1	1870.33	20132.06
3RD FLOOR LEVEL	1	1882.15	20259.29
4TH TO 6TH FLOOR LEVEL	3	5646.45	60777.88
ROOF LEVEL	1	169.29	1822.22
TOTAL BUILDING AREA		1713.24	18441.16
TOTAL GFA		11281.46	121432.62
TOWER B (RESIDENTIAL CONDO)			
GROUND FLOOR LEVEL	1	1907.84	20535.82
2ND FLOOR LEVEL	1	2019.14	21733.84
3RD FLOOR LEVEL	1	2113.65	22751.14
4TH TO 7TH FLOOR LEVEL	4	8454.60	91004.56
ROOF LEVEL	1	327.19	3521.84
TOTAL BUILDING AREA		1907.84	20535.82
TOTAL GFA		14822.42	159547.20
AMENITY SPACE			
GROUND FLOOR LEVEL	1	432.68	4657.33
2ND FLOOR LEVEL	1	432.68	4657.33
TOWER A (ROOF LEVEL)	1	664.84	7156.28
TOWER B (ROOF LEVEL)	1	628.70	6767.27
TOTAL BUILDING AREA		432.68	4657.33
TOTAL GFA		2158.90	23238.21
SERVICE AREAS			
TOWER A - GARBAGE (GROUND FLOOR)		116.02	1248.83
TOWER A - MECHANICAL ROOM (ROOF LEVEL)		204.37	2199.82
TOWER B - GARBAGE (GROUND FLOOR)		111.30	1198.02
TOWER B - MECHANICAL ROOM (ROOF LEVEL)		39.20	421.95
TOTAL BUILDING AREA		227.32	2446.67
TOTAL GFA		470.89	5068.62
GRAND TOTAL			
TOTAL BUILDING AREA		4281.08	48280.98
TOTAL GFA (NOT INCLUDING UNDERGROUND PARKING)		28733.67	309286.65

8 AREAS SCALE: NTS

STOREYS	UNITS TYPE		TOWER A							TOWER B							TOTALS	
	UNIT TYPE	SOFT	GROUND FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	6TH FLOOR	7TH FLOOR	8TH FLOOR	9TH FLOOR	10TH FLOOR	11TH FLOOR	12TH FLOOR	13TH FLOOR			
1 BEDROOM	TYPE 1-1	800-030	30-04	6	7	6	6	6	6	4	6	6	6	6	6	77		
1 BEDROOM + DEN	TYPE 1-1	800-1004	74-04	5	5	3	3	3	3	2	2	2	2	2	2	36		
2 BEDROOM	TYPE 1-10	830-1114	80-104	6	5	5	5	5	5	12	11	9	9	9	9	90		
2 BEDROOM + LARGE BALCONY	TYPE 1-8	1011-1044	84-116	0	2	4	4	4	4	0	1	4	4	4	4	30		
3 BEDROOM	TYPE 1-1	1584-1801	147-167	1	1	1	1	1	1	1	1	1	1	1	1	13		
PARTIAL UNITS PER TOWER				18	20	19	19	19	19	21	22	22	22	22	22			
TOTAL UNITS				114							150							

* INCLUDES 40 BARRIER-FREE SUITES - (15% OF TOTAL SUITES OBC 3.8.2.1.5(1))

1ST FLOOR - TOWER A - (2) - 1 BEDROOM + (1) 2 BEDROOM
TOWER B - (1) - 1 BEDROOM + (2) 2 BEDROOM
(6) - TOTAL

2ND FLOOR - TOWER A - (2) - 1 BEDROOM + (1) 2 BEDROOM
TOWER B - (1) - 1 BEDROOM + (2) 2 BEDROOM
(6) - TOTAL

3RD FLOOR - TOWER A - (2) - 1 BEDROOM + (1) 2 BEDROOM
TOWER B - (1) - 1 BEDROOM + (2) 2 BEDROOM
(6) - TOTAL

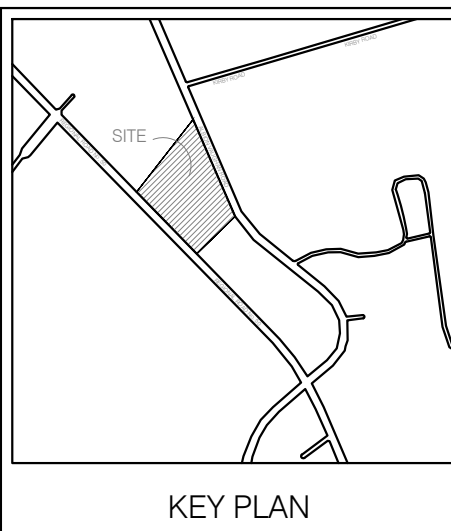
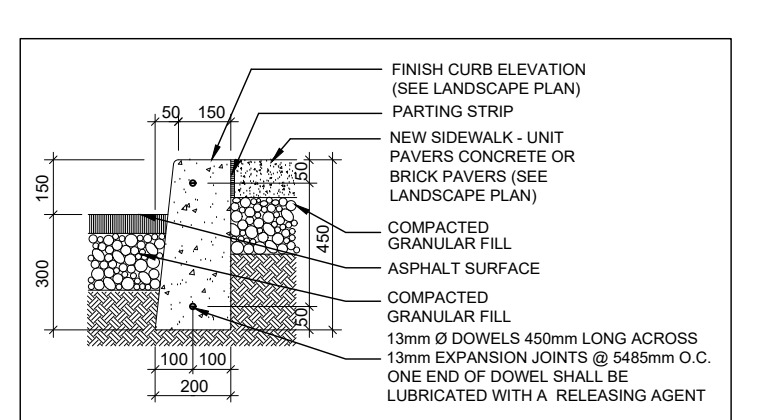
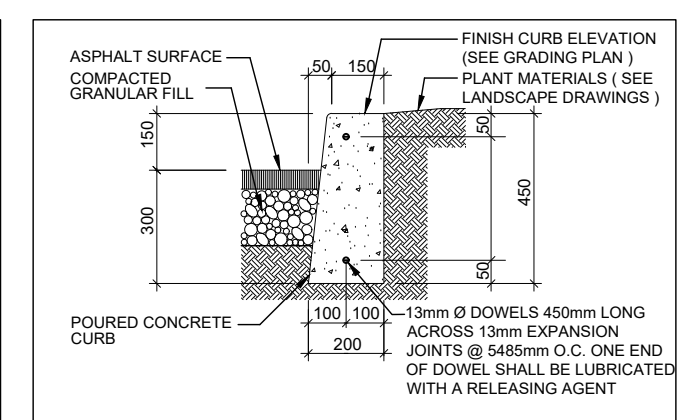
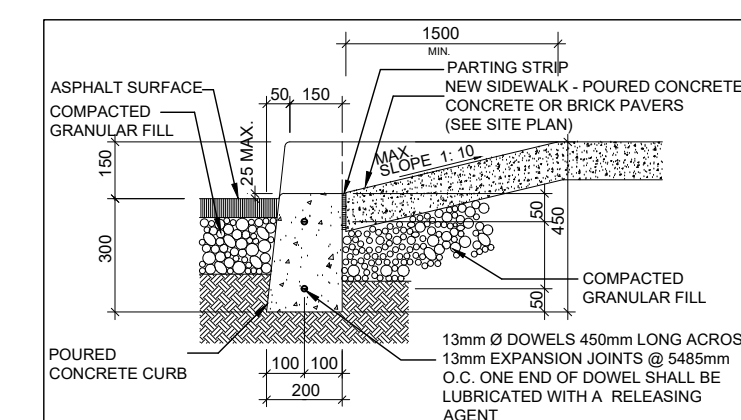
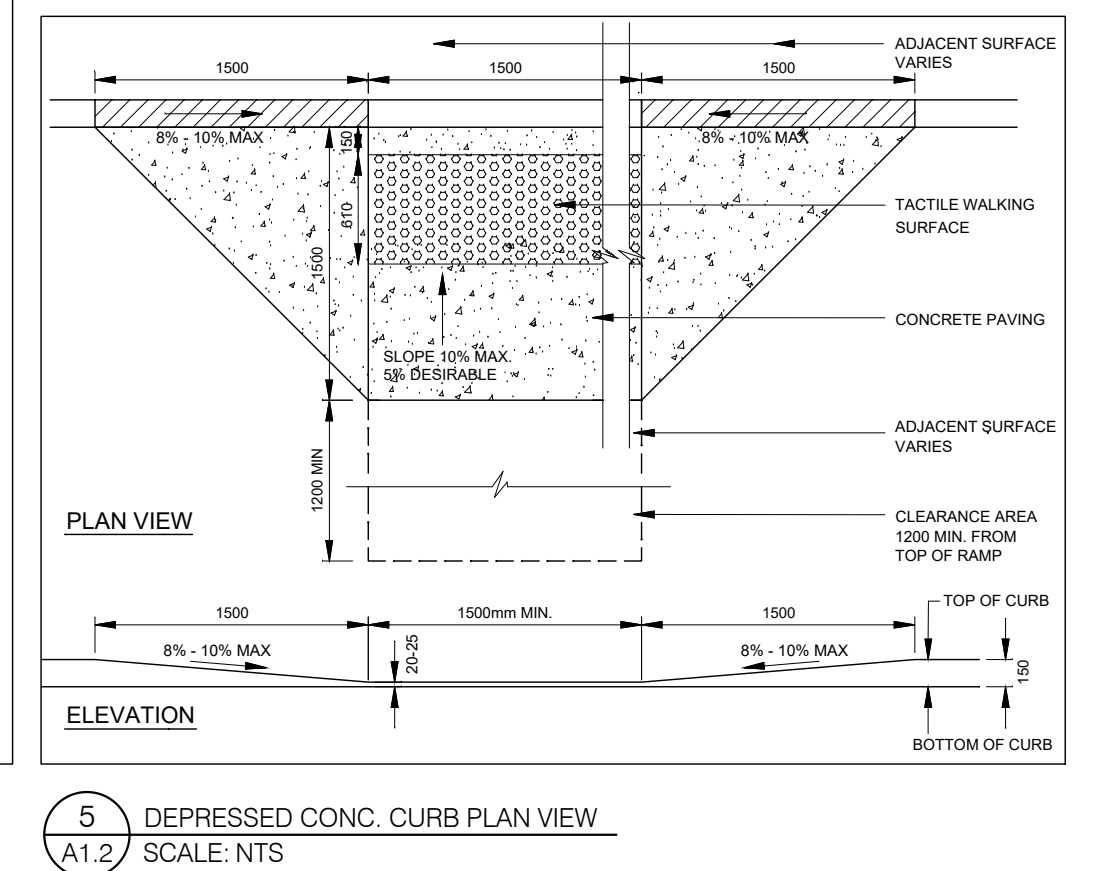
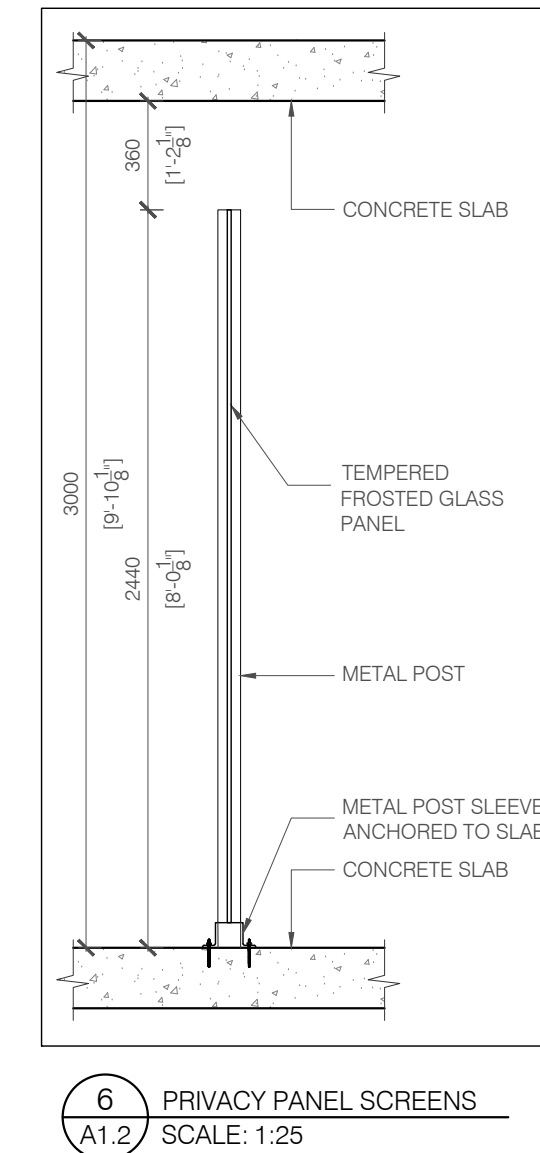
4TH FLOOR - TOWER A - (2) - 1 BEDROOM + (1) 2 BEDROOM
TOWER B - (1) - 1 BEDROOM + (2) 2 BEDROOM
(6) - TOTAL

5TH FLOOR - TOWER A - (2) - 1 BEDROOM + (1) 2 BEDROOM
TOWER B - (1) - 1 BEDROOM + (2) 2 BEDROOM
(6) - TOTAL

6TH FLOOR - TOWER A - (2) - 1 BEDROOM + (1) 2 BEDROOM
TOWER B - (1) - 1 BEDROOM + (2) 2 BEDROOM
(6) - TOTAL

7TH FLOOR - TOWER A - N/A
TOWER B - (1) - 1 BEDROOM + (3) 2 BEDROOM
(4) - TOTAL

**TOTAL - (19) 1 BEDROOM + (21) 2 BEDROOM
(40) BARRIER-FREE SUITES**



ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL 2021-01-27

SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

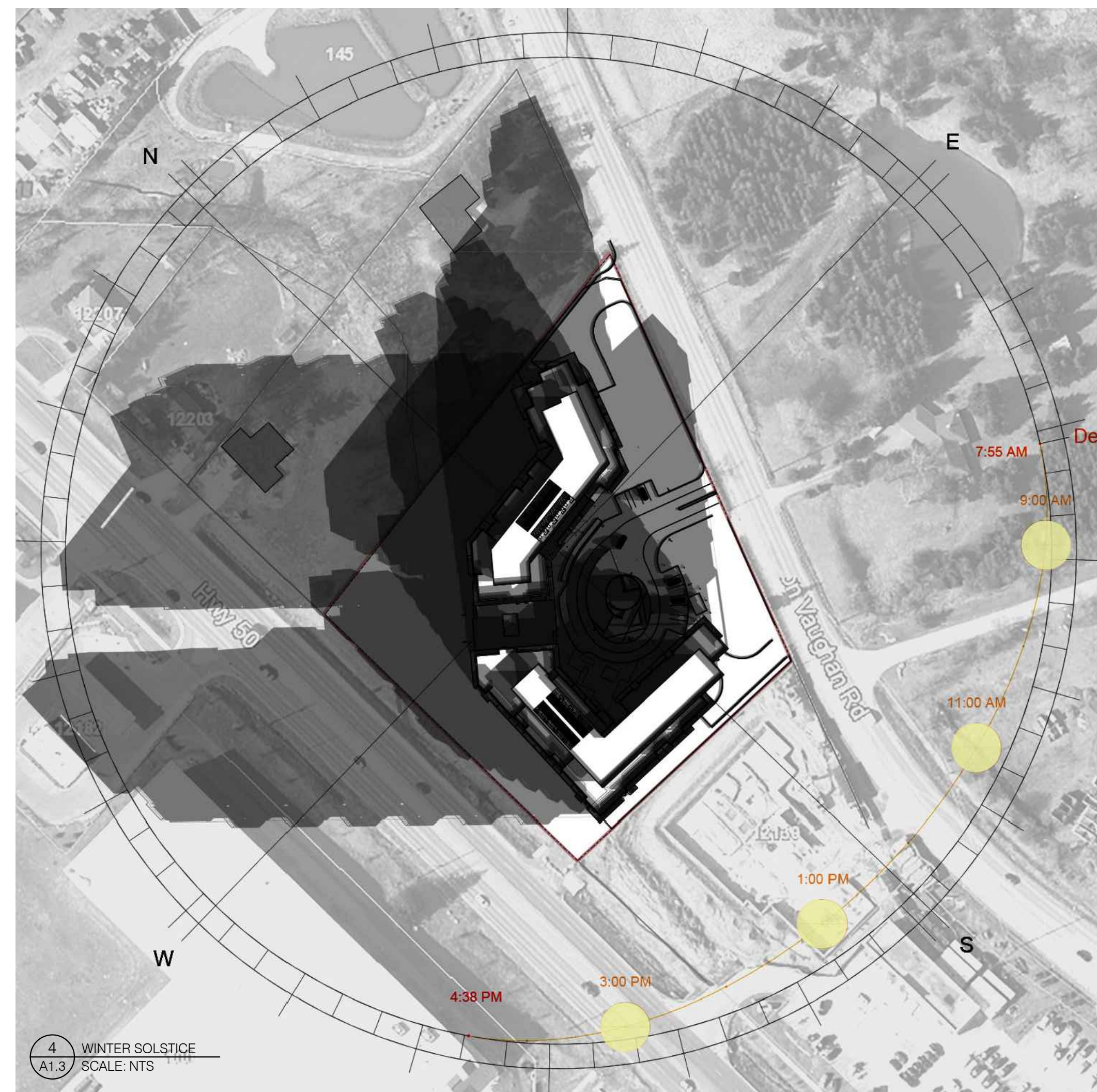
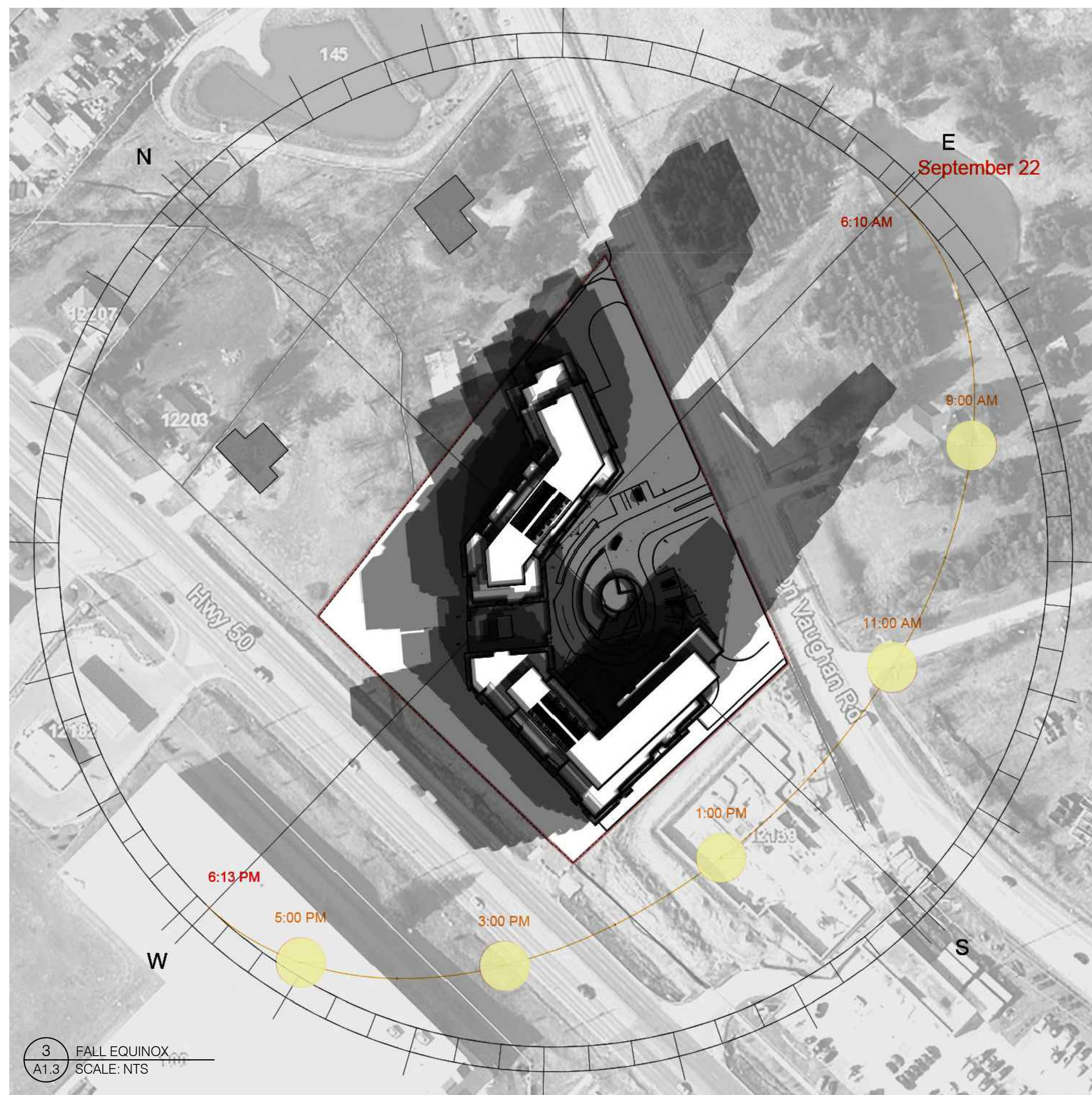
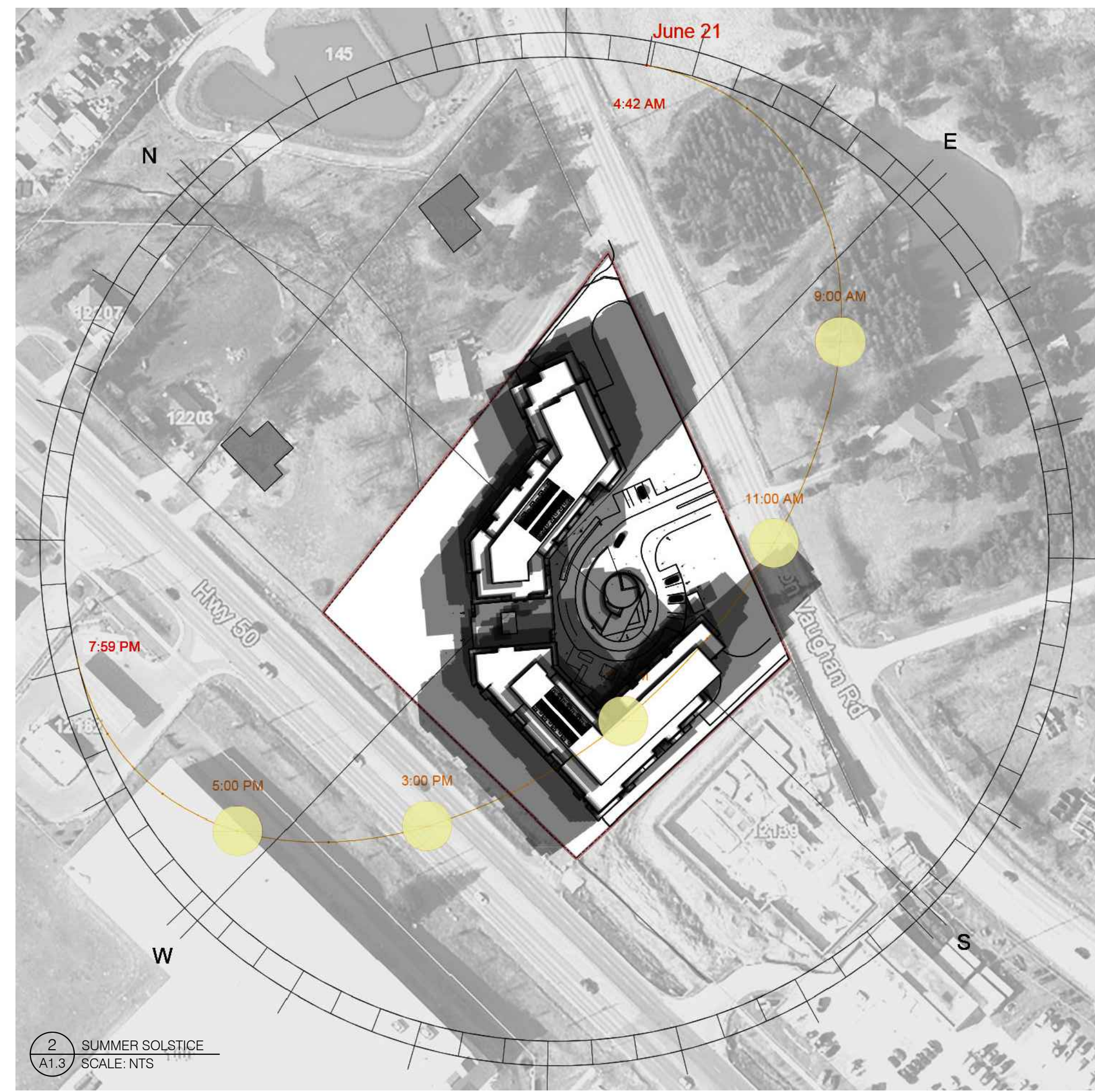
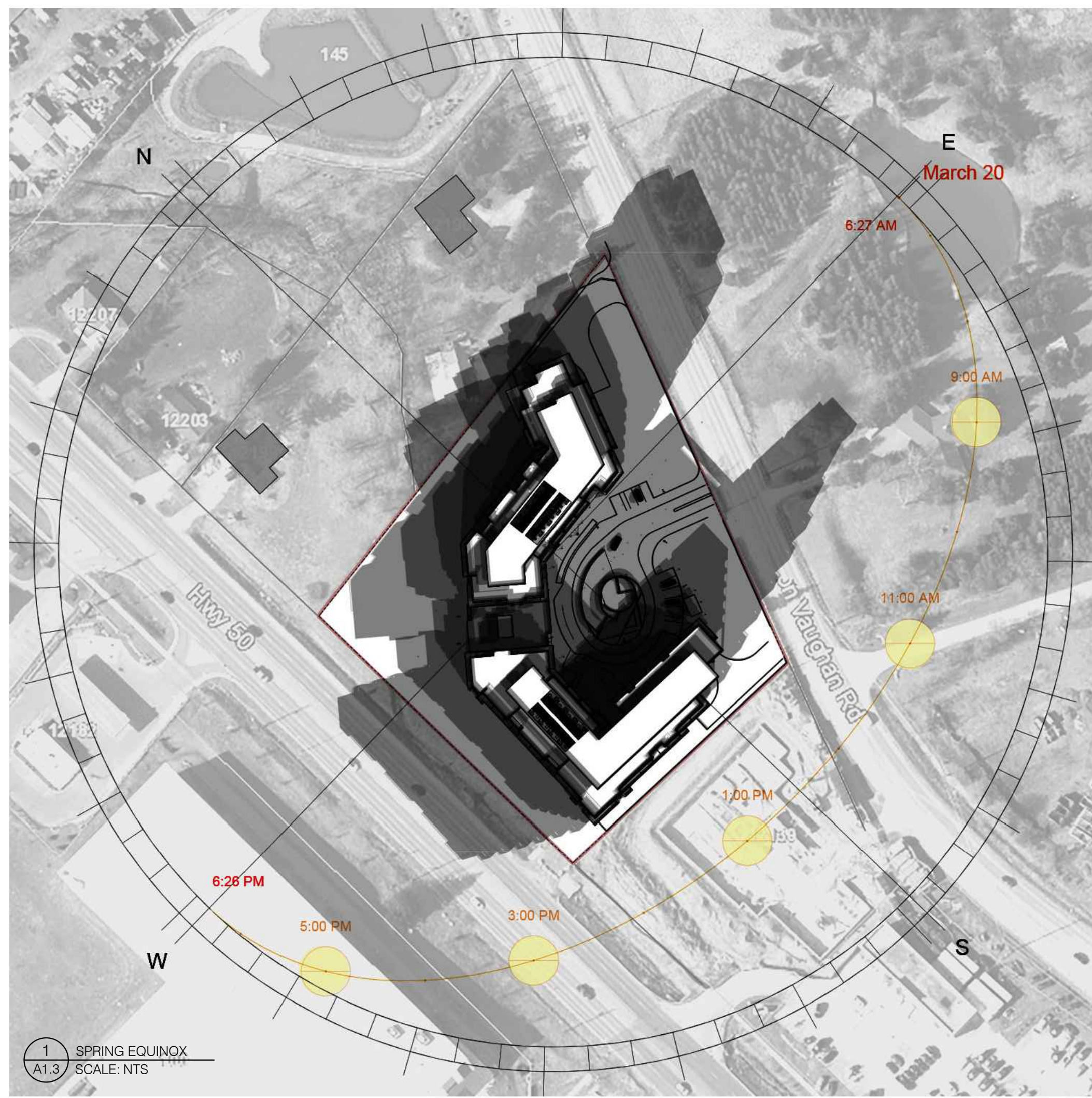
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.

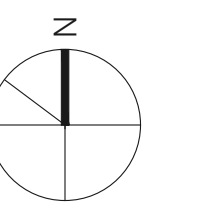
FAUSTO CORTESE ARCHITECTS

3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION VAUGHAN RD.<



KEY PLAN



No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2021-01-27
 SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SCALED AND SIGNED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

DRAWING: SHADOW STUDY

DATE	PROJECT No.
05/04/2024	2019-22
SCALE:	DRAWING No.
AS NOTED	A1.3
DESIGNED BY:	REVIEWED BY:
AD	F.C.

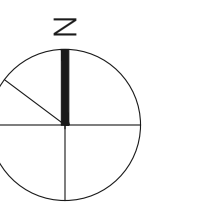
FILE NAME: D:\FALB\BOLTON_A1.3_20240504.DWG

ALBION VAUGHAN ROAD
(ROAD ALLOWANCE BETWEEN TOWNSHIPS OF ALBION & VAUGHAN)
PIN 03321-0094(LT)

CENTRELINE OF ORIGINAL ROAD ALLOWANCE



KEY PLAN



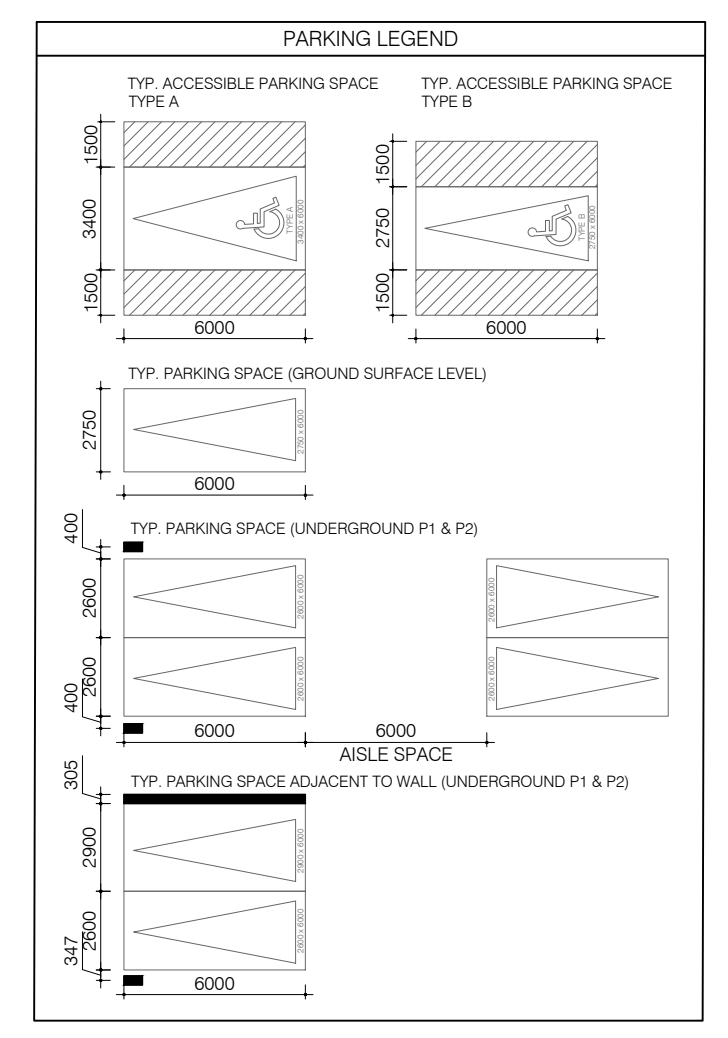
PART 3, PLAN 43R-3146

PART 4, PLAN 43R-33446



PARKING BREAKDOWN			
PARKING PROVIDED			
	VISITOR	RESIDENT	TOTAL
P1 LEVEL	99	164	223
P2 LEVEL	0	237	237
GROUND SURFACE LEVEL	8	0	8
GRAND TOTAL PARKING PROVIDED	67	401	468 (468 SPOTS EXON)

EV PARKING		ACCESSIBLE PARKING	
	TOTAL		TOTAL
GROUND SURFACE LEVEL	8	GROUND SURFACE LEVEL	4
P1 LEVEL	29	P1 LEVEL	8
P2 LEVEL	38	P2 LEVEL	0
GRAND TOTAL EV PARKING SPOTS	75	GRAND TOTAL ACCESSIBLE PARKING SPOTS	12
	INCLUDED IN PARKING TOTAL		INCLUDED IN PARKING TOTAL



STORAGE BREAKDOWN				
	BICYCLE STORAGE		LOCKER STORAGE	
	LONG TERM	SHORT-TERM	TOTAL	TOTAL
FLOORS 1-1 PENTHOUSE	0	0	0	79
GROUND SURFACE LEVEL	0	30	30	0
P1 LEVEL	28	0	28	96
P2 LEVEL	28	0	28	96
GRAND TOTAL	56	30	86	271

No.	DESCRIPTION	DATE
5	REVISED FOR SPA	2024-05-02
4	REVISED FOR SPA	2024-04-02
3	REVISED FOR COORDINATION	2024-01-11
2	REVISED FOR COORDINATION	2023-12-09
1	REVISED FOR SPA	2023-03-13

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27
SUBMITTALS
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION VAUGHAN RD.
BOLTON
TOWN OF CALEDON

DRAWING: P1 LEVEL (TOWER A & B)

DATE	PROJECT No.
05/04/2024	2019-22
SCALE	DRAWING No.
AS NOTED	A2.0
DESIGNED BY	REVIEWED BY
AD	F.C.

1 P1 LEVEL - PARKING TOWER A & B
A2.0 SCALE: 1:250

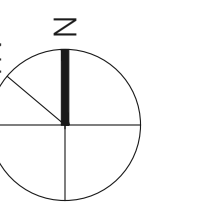
FILE NAME: C:\P\ALBION\ALBION_A2.021_170424\A2.021.DWG

ALBION VAUGHAN ROAD
(ROAD ALLOWANCE BETWEEN TOWNSHIPS OF ALBION & VAUGHAN)
PIN 03321-0094(LT)

CENTRELINE OF ORIGINAL ROAD ALLOWANCE

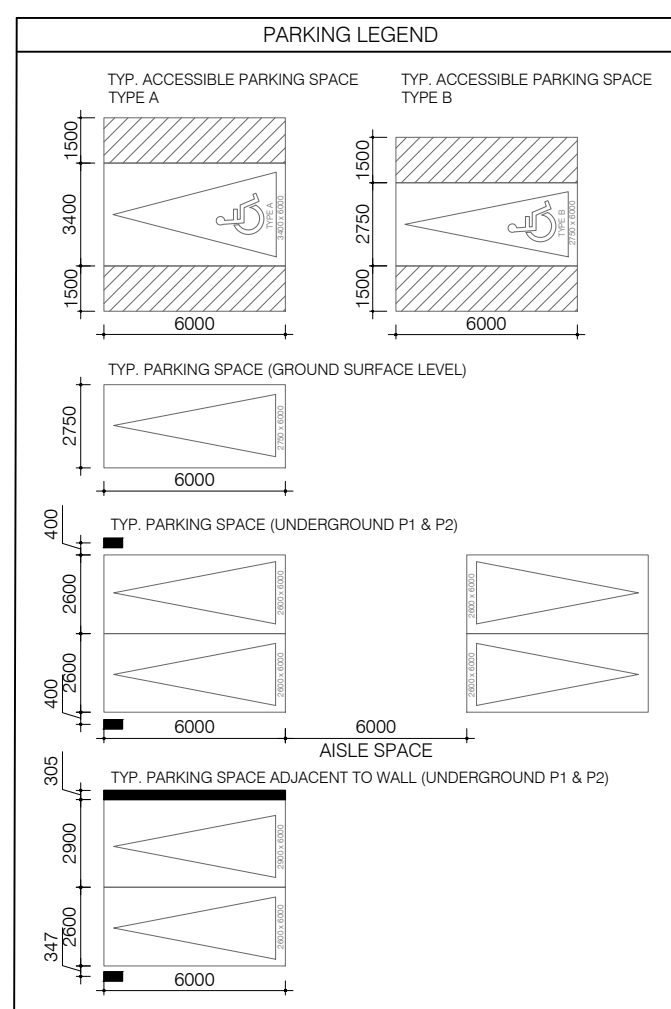


KEY PLAN

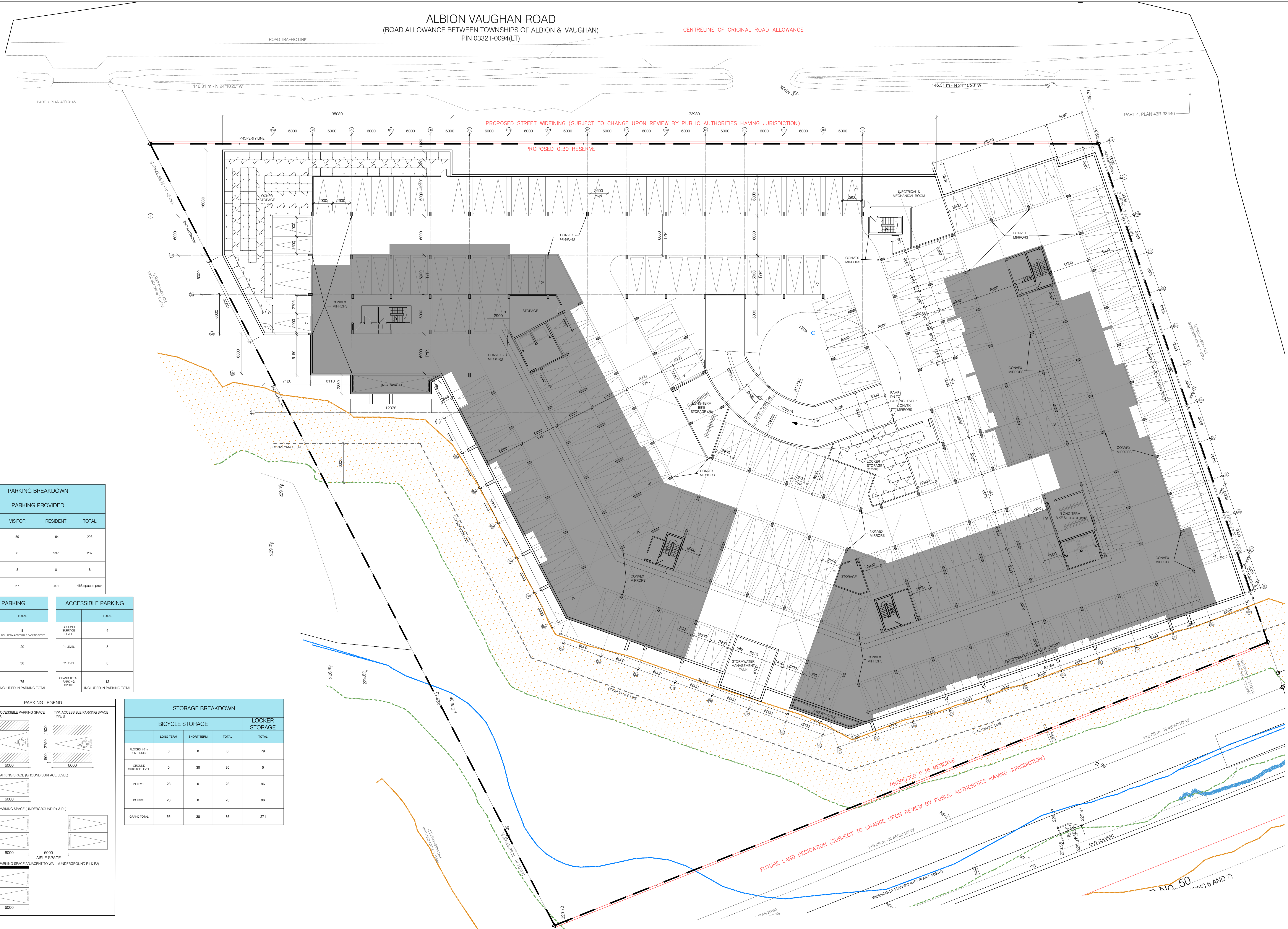


PARKING BREAKDOWN			
PARKING PROVIDED			
	VISITOR	RESIDENT	TOTAL
P1 LEVEL	59	164	223
P2 LEVEL	0	237	237
GROUND SURFACE LEVEL	8	0	8
GRAND TOTAL PARKING PROVIDED	67	401	468 SPACES EXON

EV PARKING		ACCESSIBLE PARKING	
	TOTAL		TOTAL
GROUND SURFACE LEVEL	8	GROUND SURFACE LEVEL	4
P1 LEVEL	29	P1 LEVEL	8
P2 LEVEL	38	P2 LEVEL	0
GRAND TOTAL EV PARKING SPOTS	75	GRAND TOTAL ACCESSIBLE PARKING SPOTS	12
	INCLUDED IN PARKING TOTAL		INCLUDED IN PARKING TOTAL



STORAGE BREAKDOWN				
	BICYCLE STORAGE		LOCKER STORAGE	
	LONG TERM	SHORT-TERM	TOTAL	TOTAL
FLOORS L1 - PENTHOUSE	0	0	0	79
GROUND SURFACE LEVEL	0	30	30	0
P1 LEVEL	28	0	28	96
P2 LEVEL	28	0	28	96
GRAND TOTAL	56	30	86	271



No.	DESCRIPTION	DATE
1	ISSUED FOR SPA	2024-03-15
2	ISSUED FOR COORDINATION	2024-03-15
3	ISSUED FOR COORDINATION	2024-03-15
4	ISSUED FOR SPA	2024-03-15
5	ISSUED FOR SPA	2024-03-15

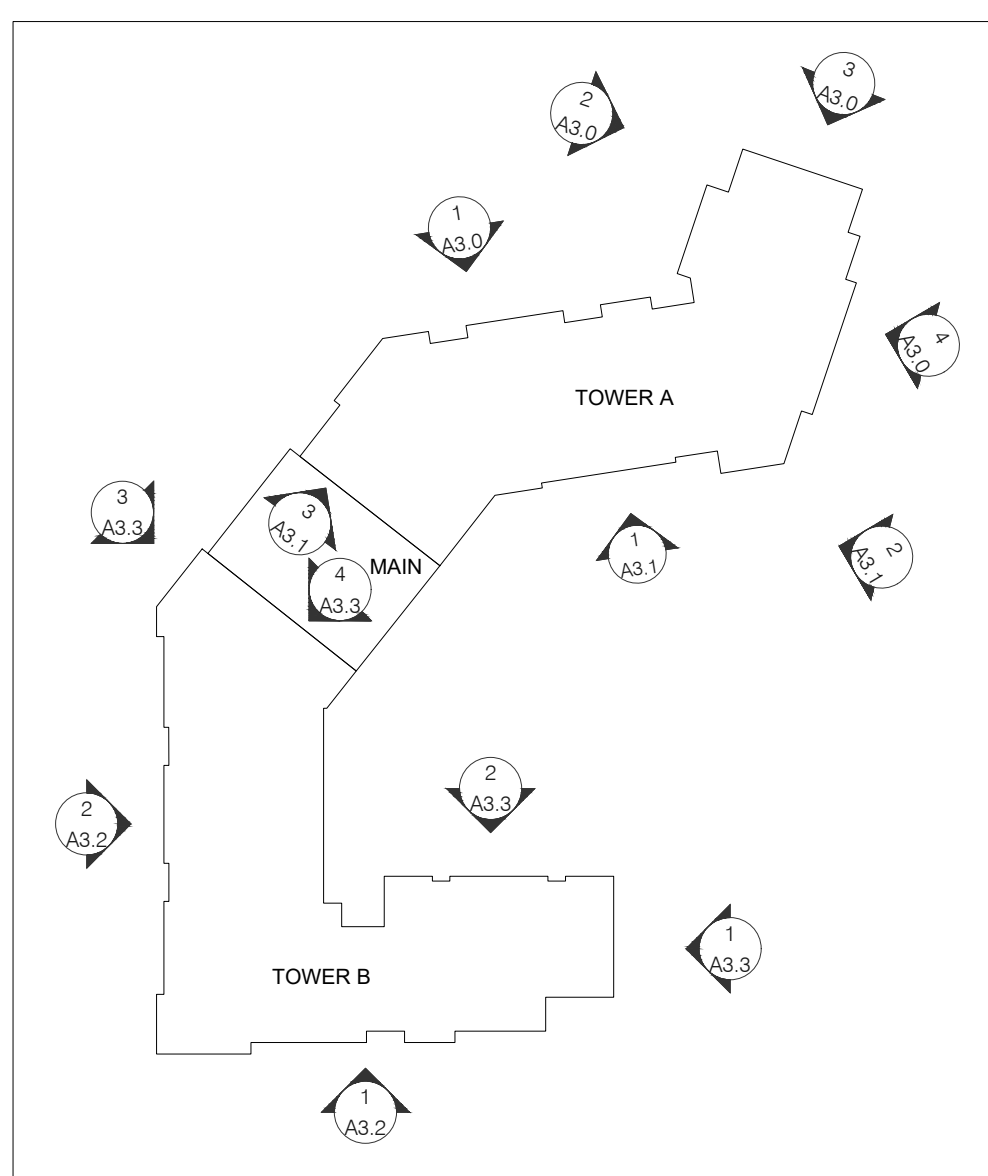
ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27
SUBMITTALS
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED AND SEALED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

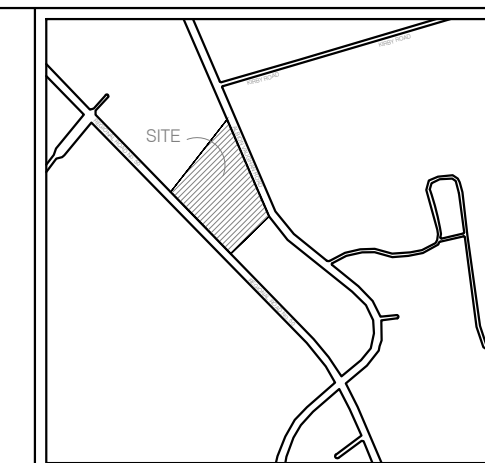
PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION VAUGHAN RD.
BOLTON
TOWN OF CALEDON

DRAWING: P2 LEVEL (TOWER A & B)

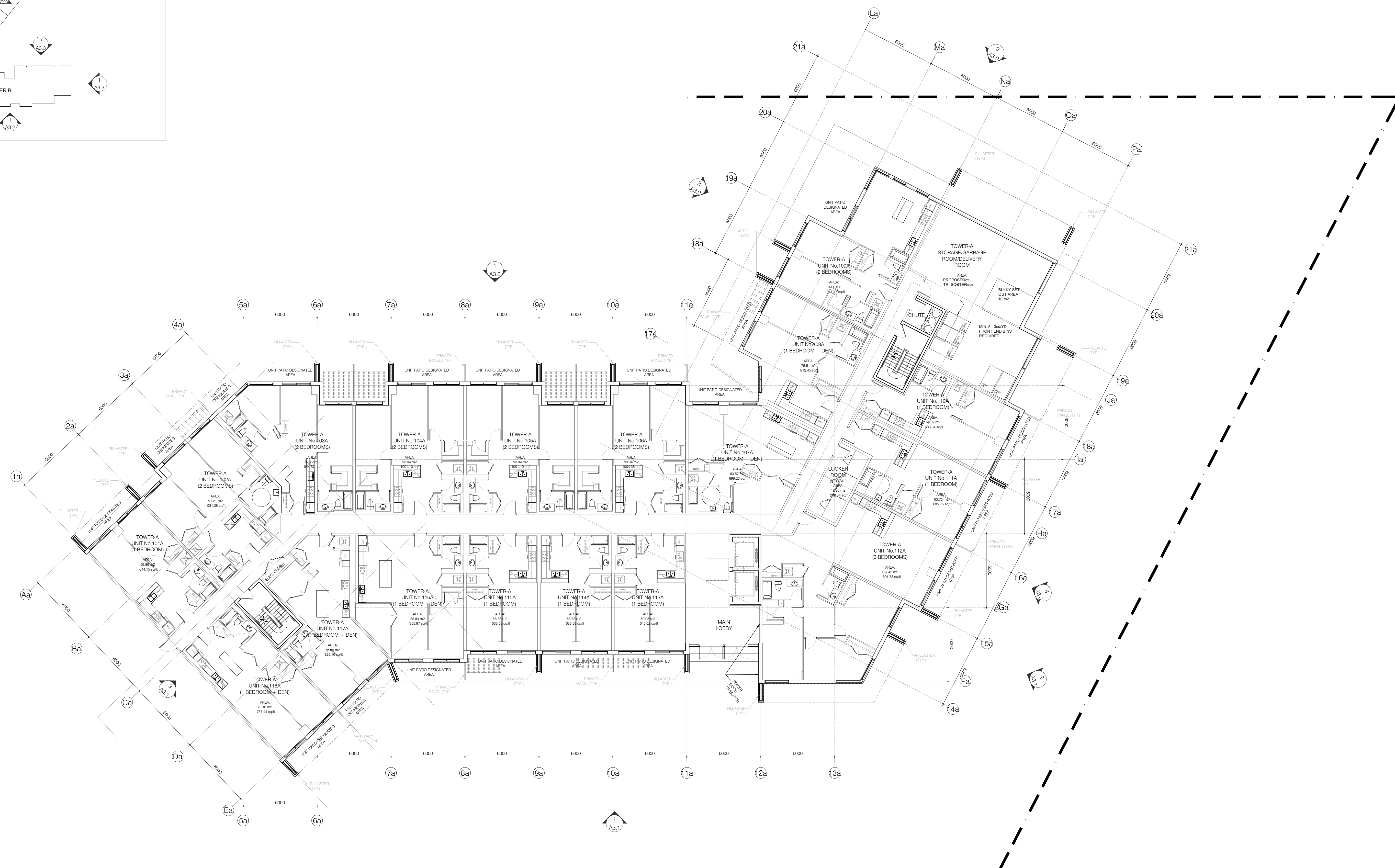
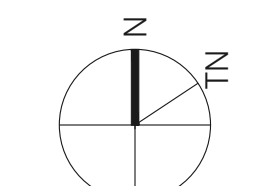
DATE	05/04/2024	PROJECT No.	2019-22
SCALE	AS NOTED	DRAWING No.	A2.1
DRAWN BY	AD	REVIEWED BY	F.C.



KEY PLAN



KEY PLAN



1 MAIN FLOOR PLAN - TOWER A
A2.2A SCALE: 1:150

No.	DESCRIPTION	DATE
4	REVISED FOR SPA	2024-05-07
3	REVISED FOR SPA	2024-04-17
2	REVISED FOR COORDINATION	2023-12-09
1	REVISED FOR SPA	2023-03-13

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL 2021-01-27

SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

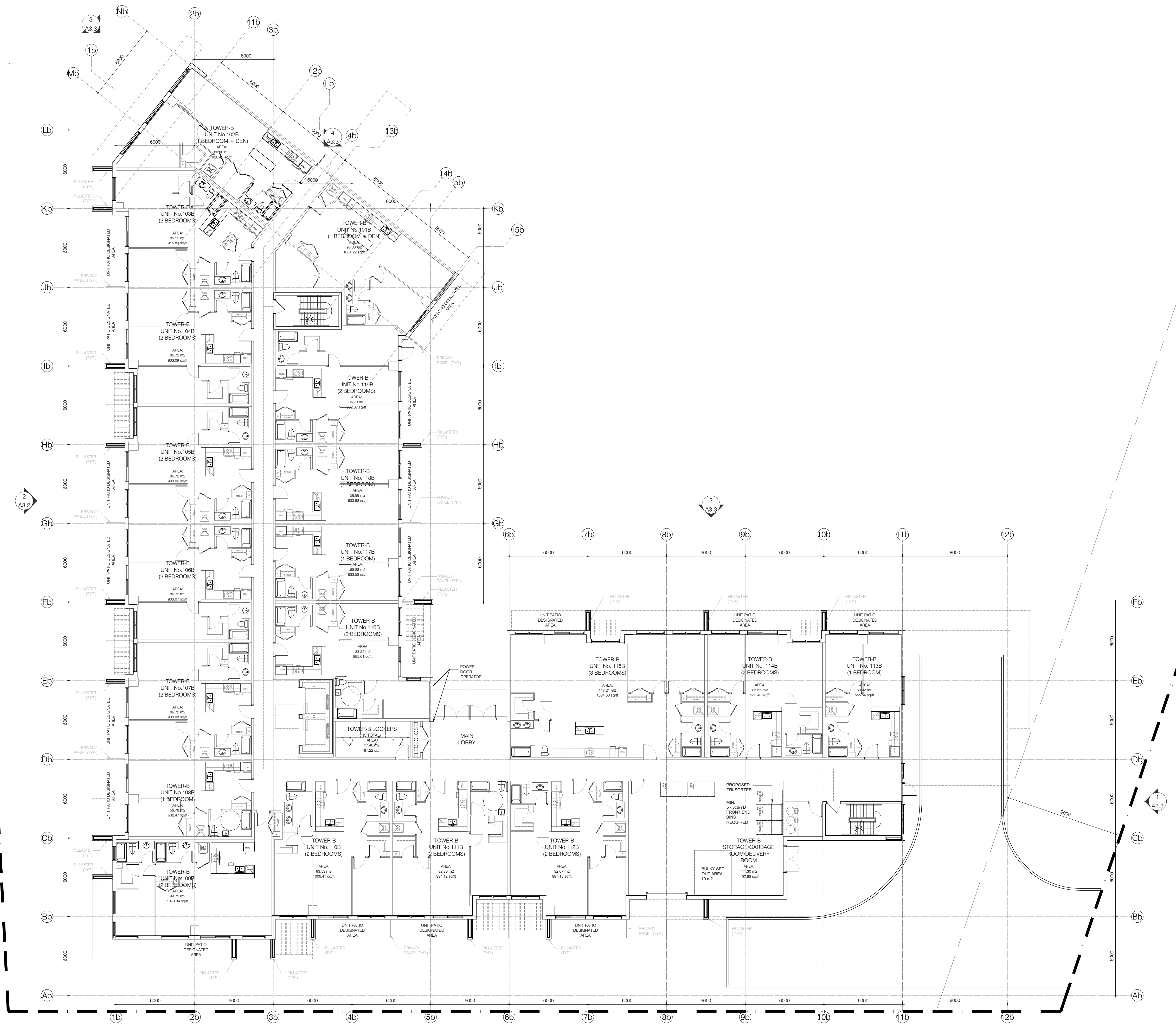
DRAWING: MAIN FLOOR PLAN TOWER A

DATE: 05/04/2024 PROJECT NO: 2019-22

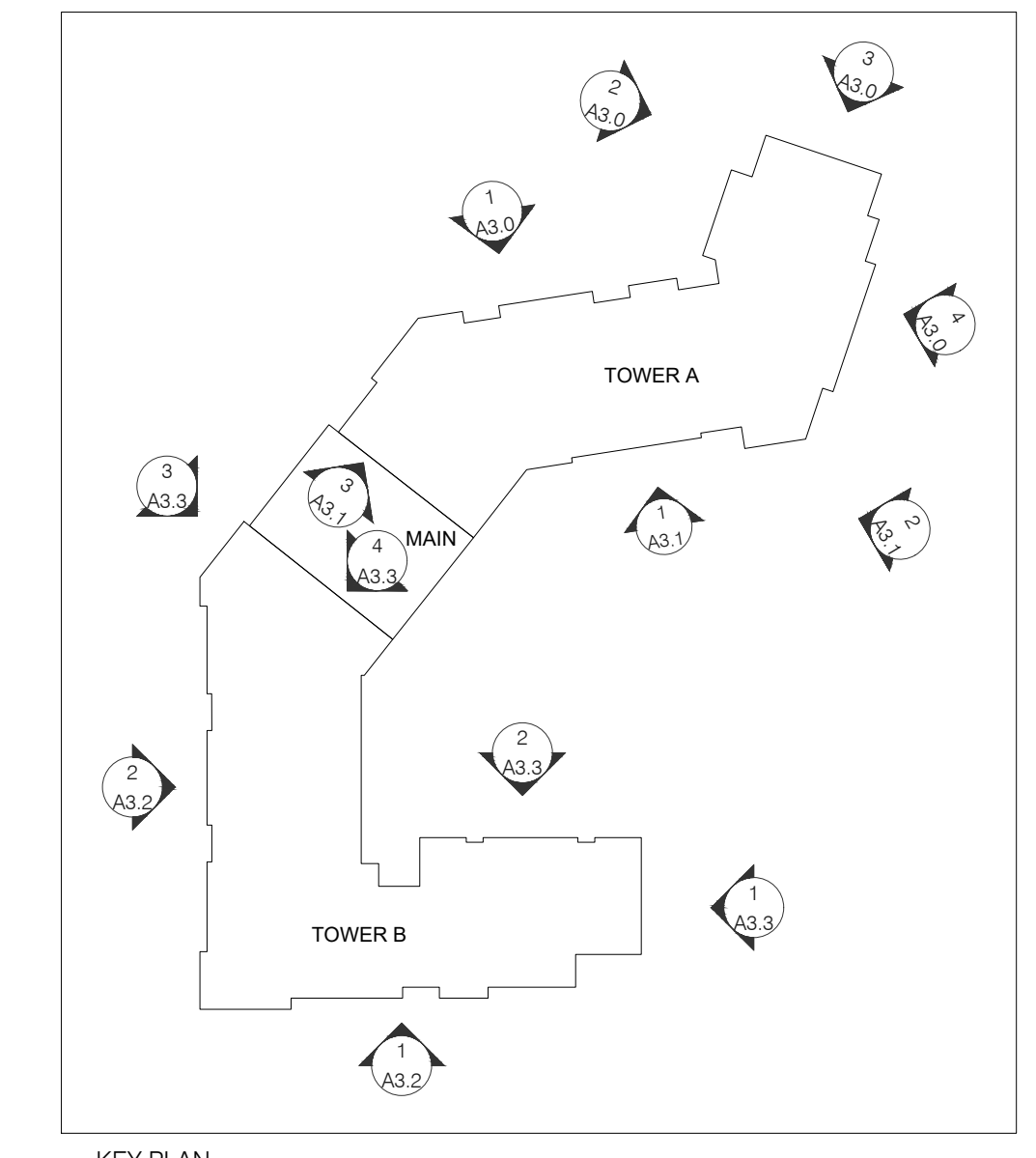
SCALE: AS NOTED DRAWING NO: A2.2A

DESIGNED BY: L.C. REVIEWED BY: F.C.

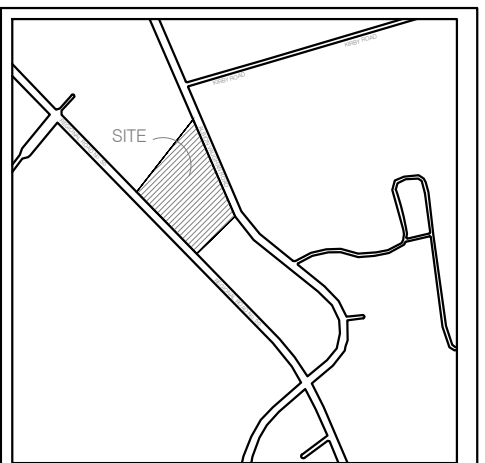
PLOT SCALE: 1"



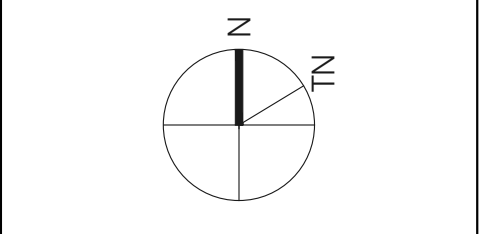
1 MAIN FLOOR PLAN - TOWER B
A2.2B SCALE: 1:150



KEY PLAN



KEY PLAN



No.	DESCRIPTION	DATE
4	REVISED FOR SPA	2024-05-07
3	REVISED FOR SPA	2024-04-05
2	REVISED FOR COORDINATION	2023-12-09
1	REVISED FOR SPA	2023-03-15

ISSUED FOR CONSTRUCTION
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2021-01-27
 SUBMITTALS
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

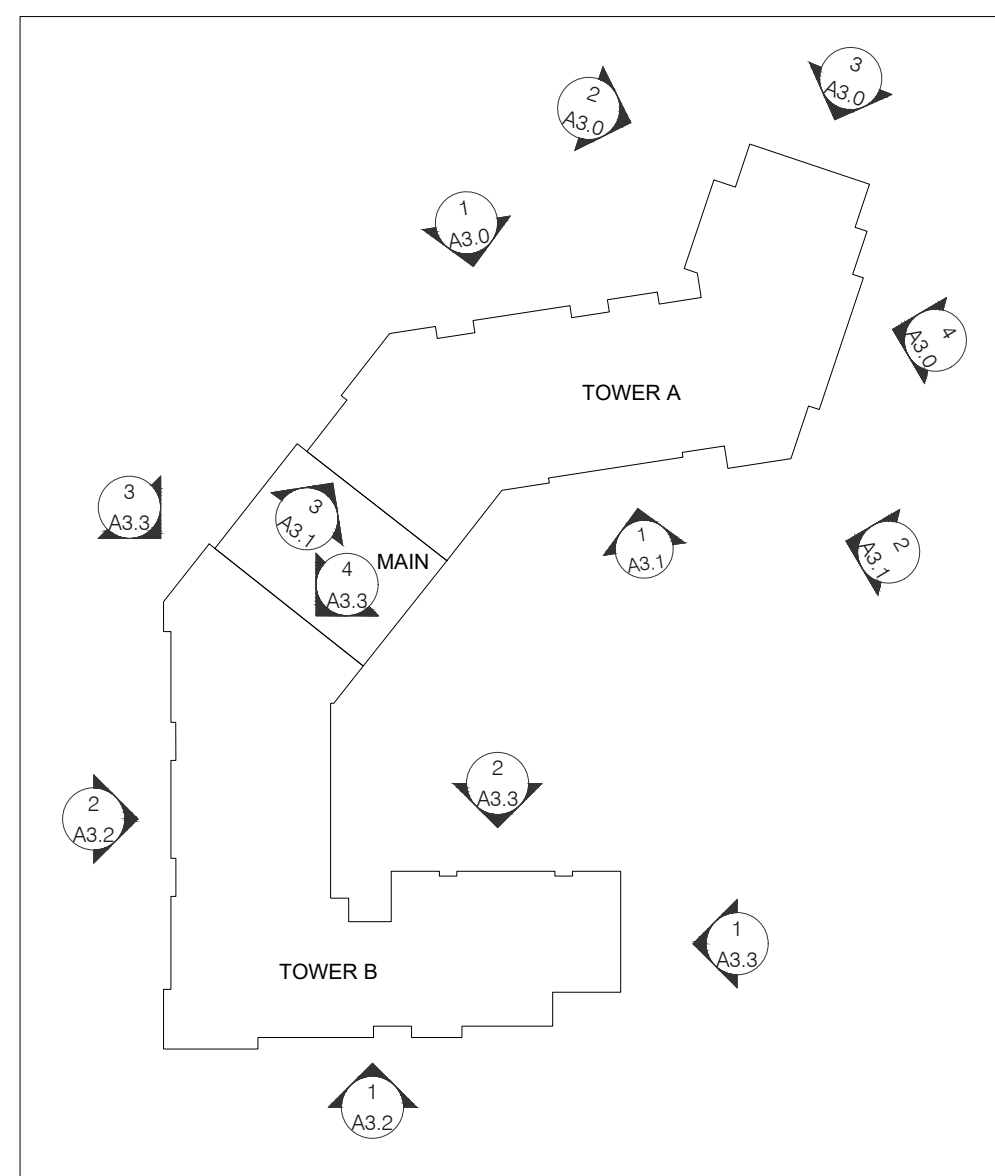
FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

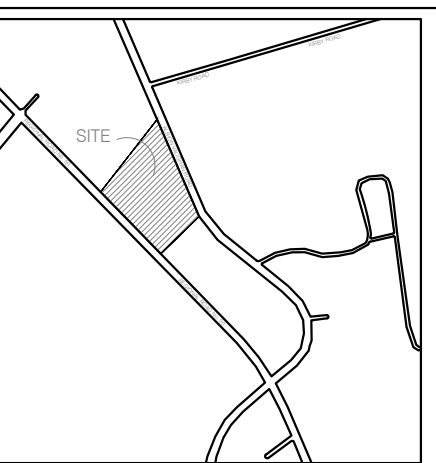
MAIN FLOOR PLAN TOWER B

DATE	PROJECT No.
05/04/2024	2019-22
SCALE	DRAWING No.
AS NOTED	A2.2B
DESIGNED BY	REVIEWED BY
L.C.	F.C.

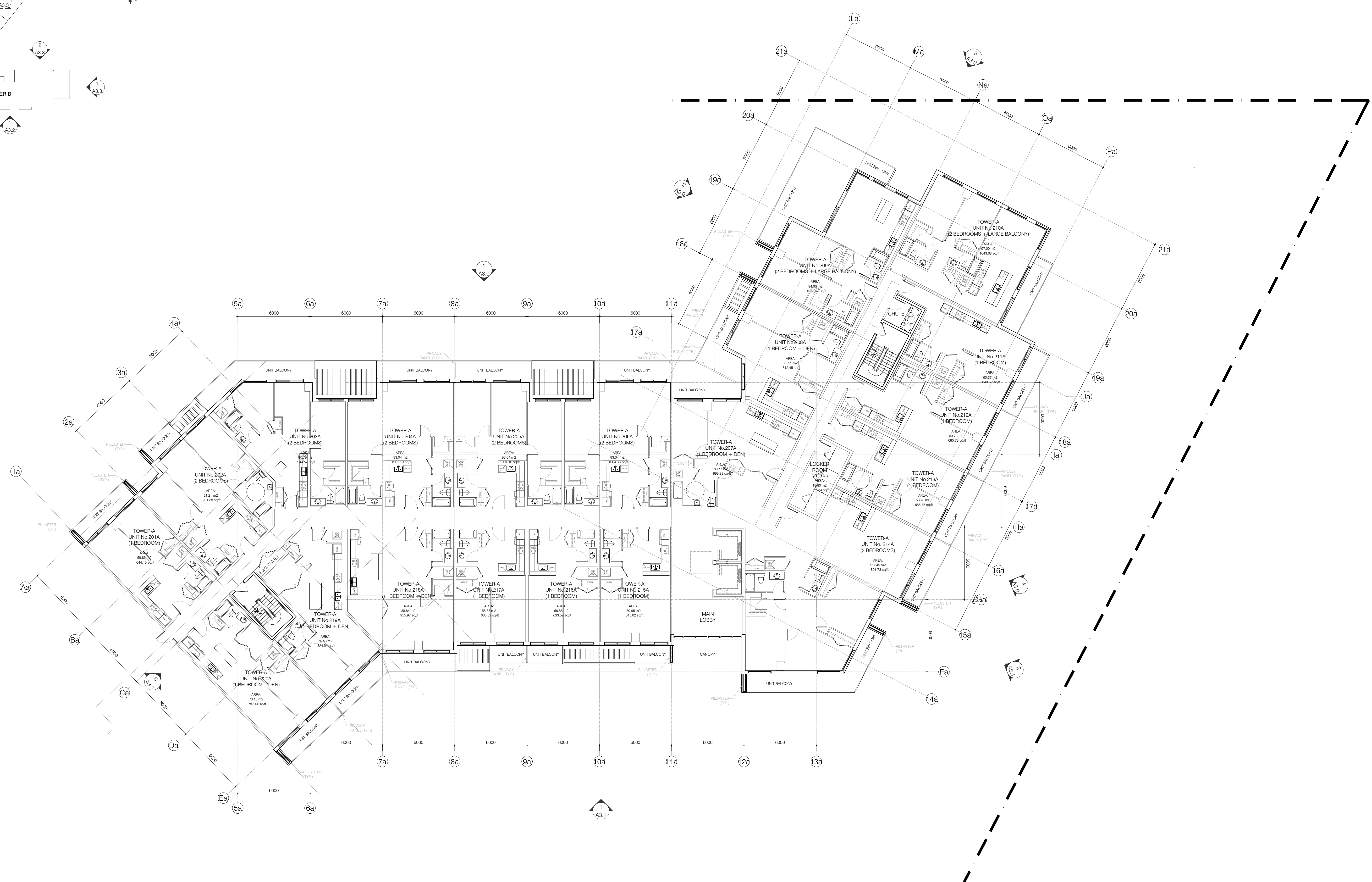
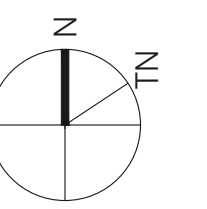
FILE NAME: C:\P\F\BOLTON\A2.2B\A2.2B-2024-05-07.DWG



KEY PLAN



KEY PLAN



1 SECOND FLOOR PLAN - TOWER A
A2.3A SCALE: 1:150

No.	DESCRIPTION	DATE
4	REVISED FOR SPA	2024-05-07
3	REVISED FOR SPA	2024-04-10
2	REVISED FOR COORDINATION	2023-12-09
1	REVISED FOR SPA	2023-03-15

ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2021-01-27
 SUBMITTALS

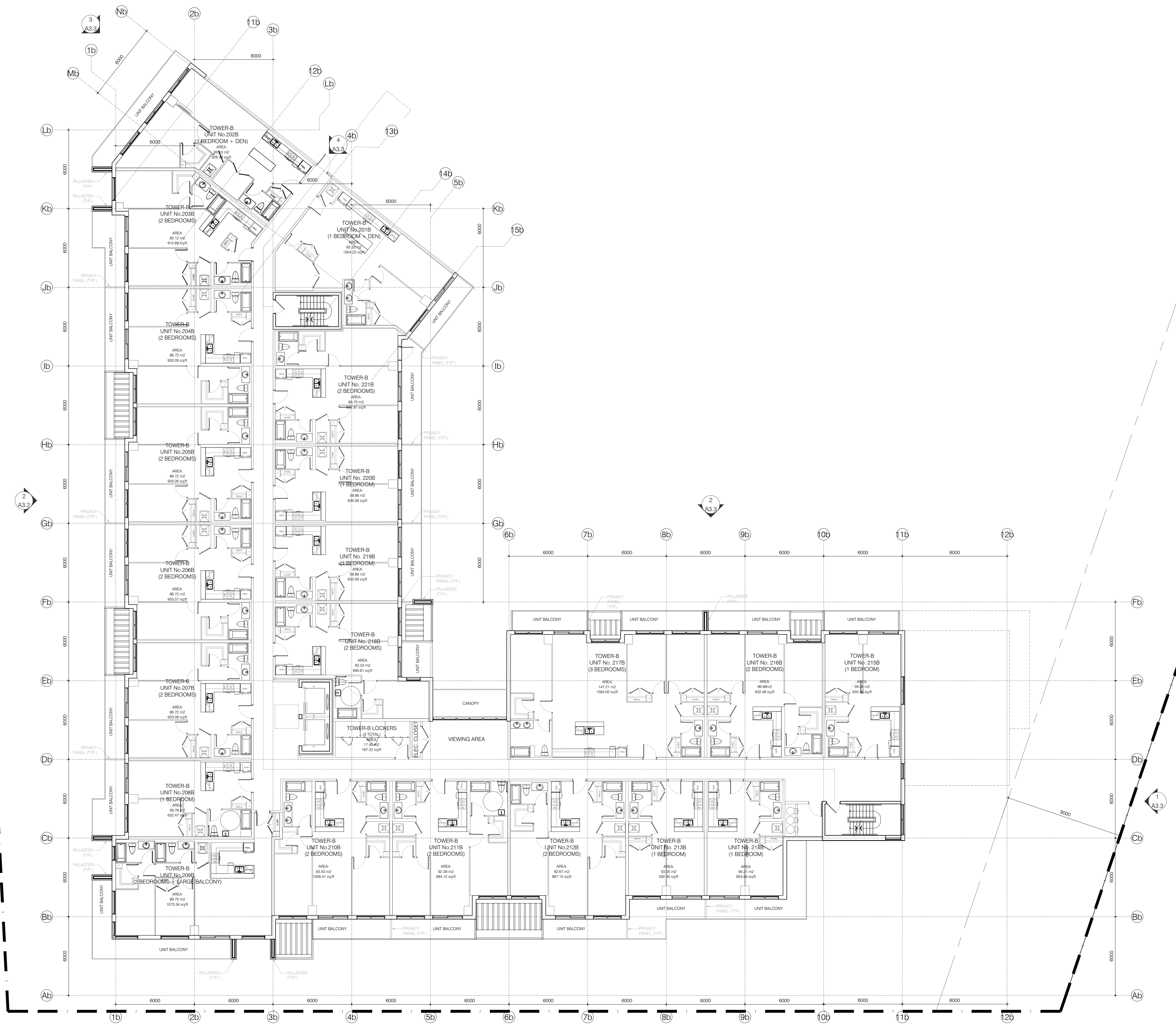
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SCALED AND SIGNED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

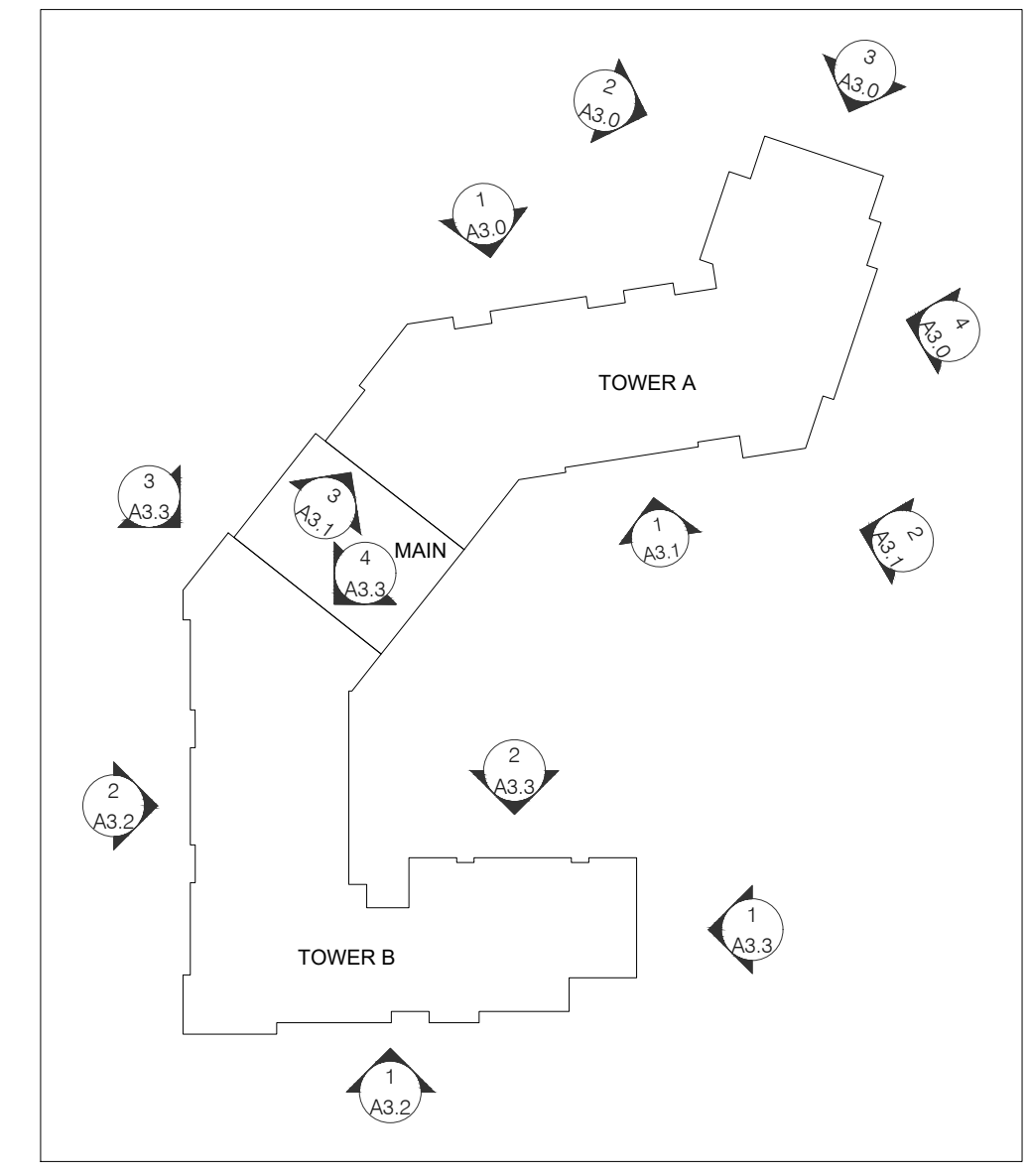
PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

SECOND FLOOR PLAN
 TOWER A

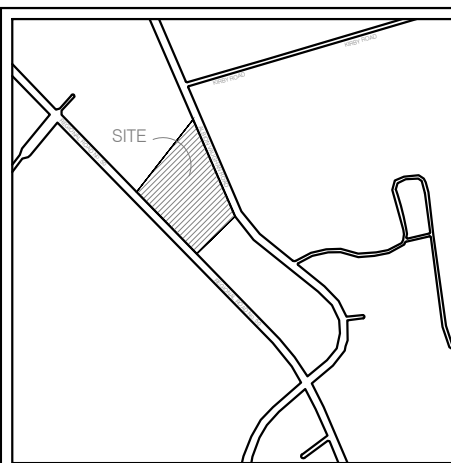
DATE: 05/04/2024 PROJECT NO: 2019-22
 SCALE: AS NOTED DRAWING NO: A2.3A
 DRAWN BY: L.C. REVIEWED BY: F.C.



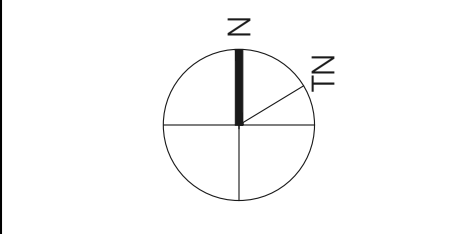
1 SECOND FLOOR PLAN - TOWER B
A2.3B SCALE: 1:150



KEY PLAN



KEY PLAN



No.	DESCRIPTION	DATE
4	REVISED FOR SPA	2024-05-10
3	REVISED FOR SPA	2024-04-10
2	REVISED FOR COORDINATION	2023-12-09
1	REVISED FOR SPA	2023-03-10

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL 2021-01-27

SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.

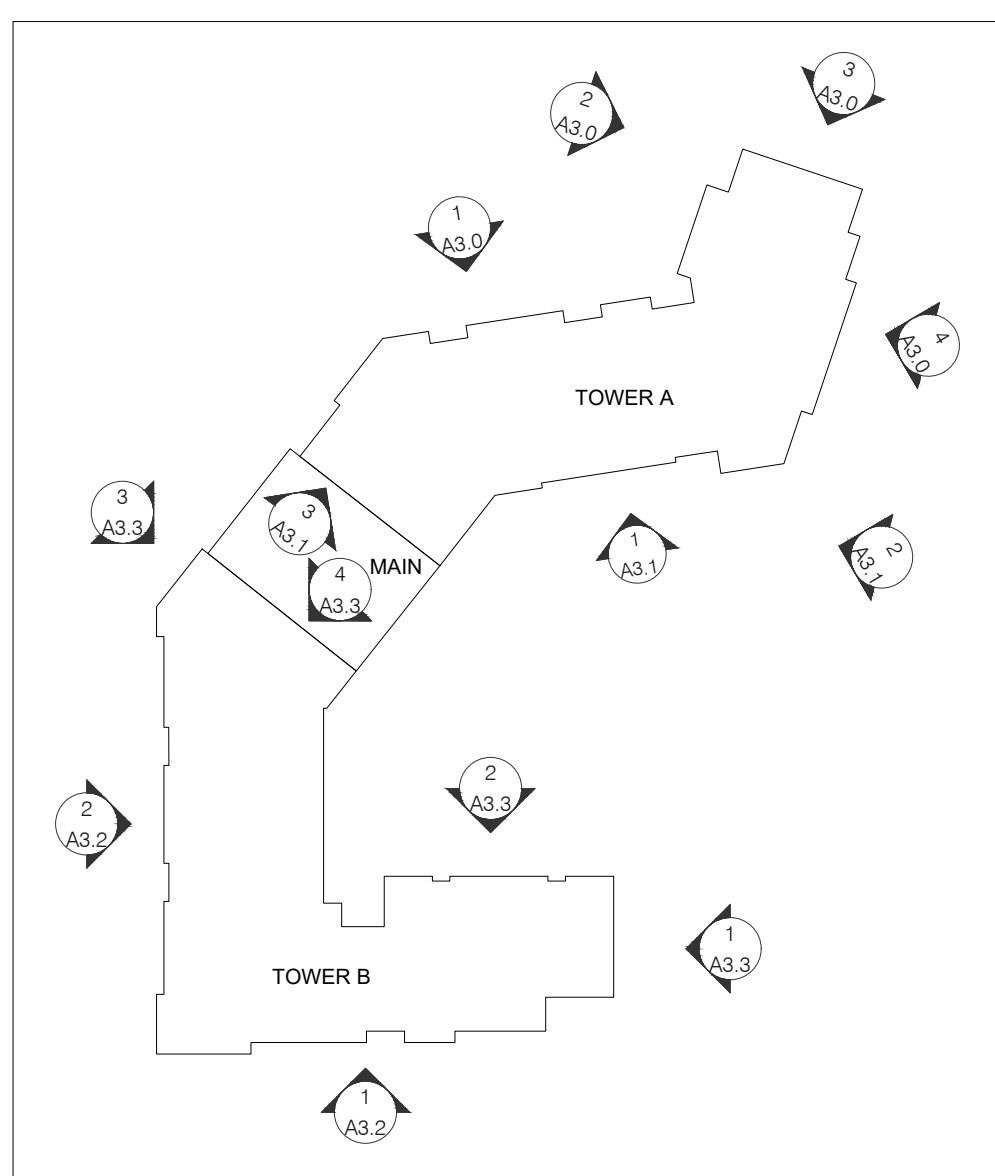
FCA
FAUSTO CORTESE ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

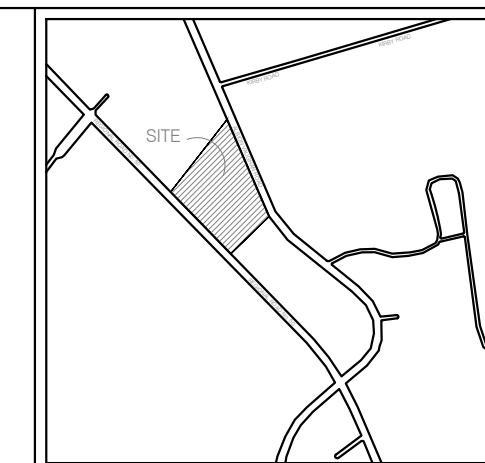
DRAWING: SECOND FLOOR PLAN TOWER B

DATE	PROJECT No.
05/04/2024	2019-22
SCALE:	DRAWING No.
AS NOTED	A2.3B
DESIGNED BY:	REVIEWED BY:
L.C.	F.C.

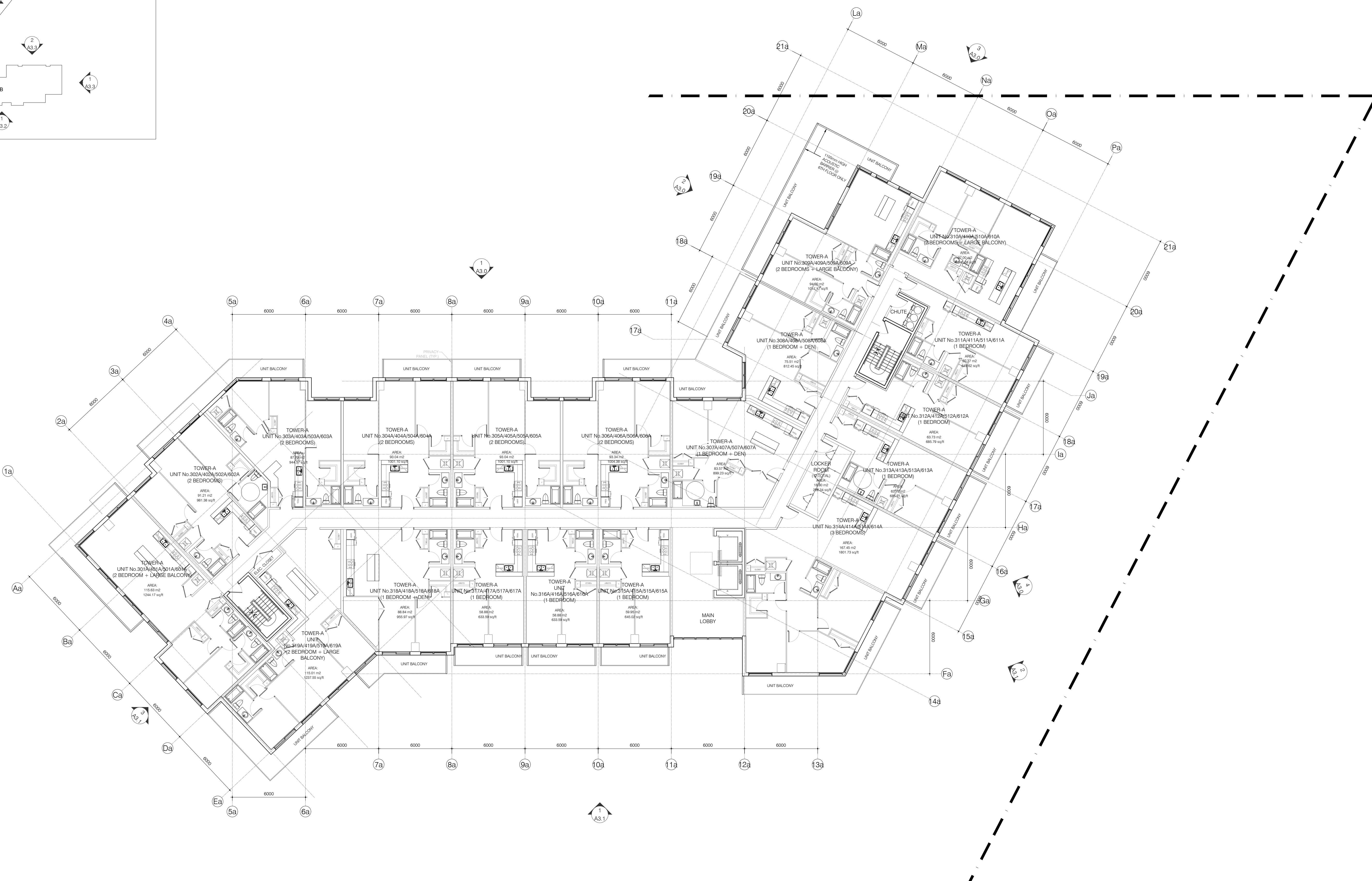
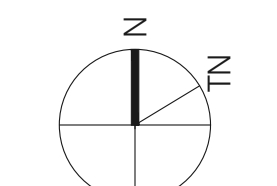
FILE NAME: C:\FCA\BOLTON\AZ\24148-ALBION-2024-05-10



KEY PLAN



KEY PLAN



1 THIRD TO SIXTH FLOOR PLAN - TOWER A
A2.4A SCALE: 1:150

No.	DESCRIPTION	DATE
4	REVISED FOR SPA	2024-05-07
3	REVISED FOR SPA	2024-04-07
2	REVISED FOR COORDINATION	2023-12-07
1	REVISED FOR SPA	2023-03-17

ISSUED FOR CONSTRUCTION	ISSUED FOR BID	ISSUED FOR BUILDING PERMIT	ISSUED FOR SITE PLAN APPROVAL
			2021-01-27

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED AND SEALED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.

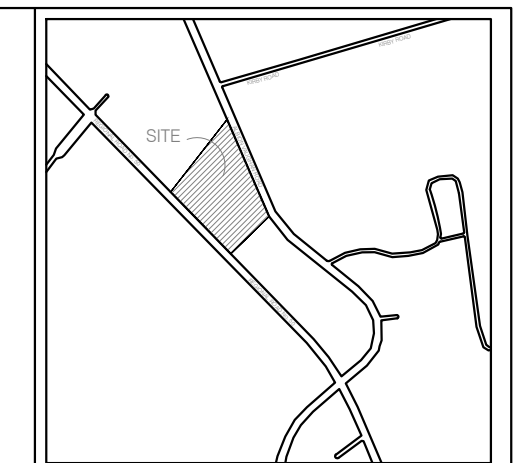
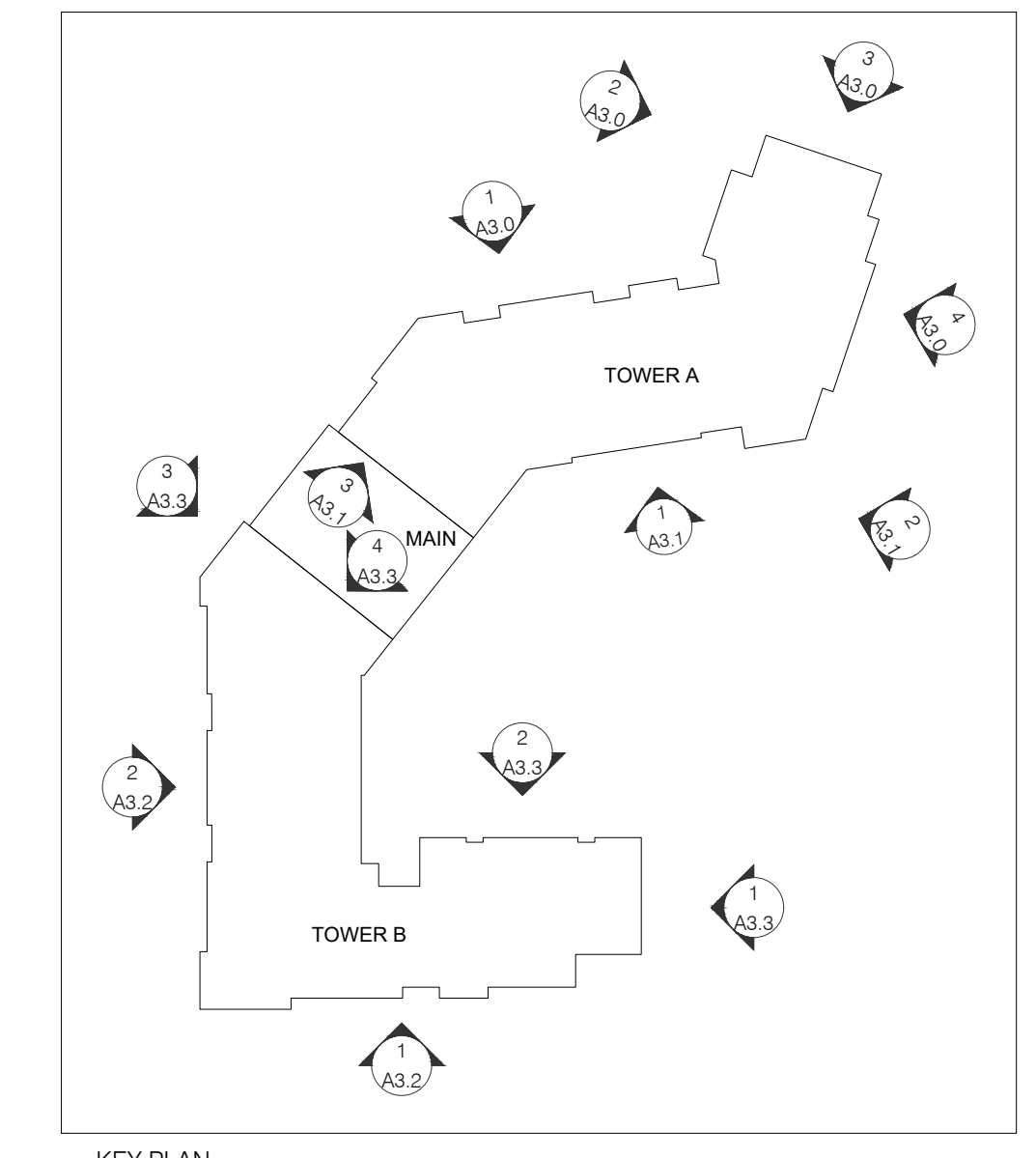
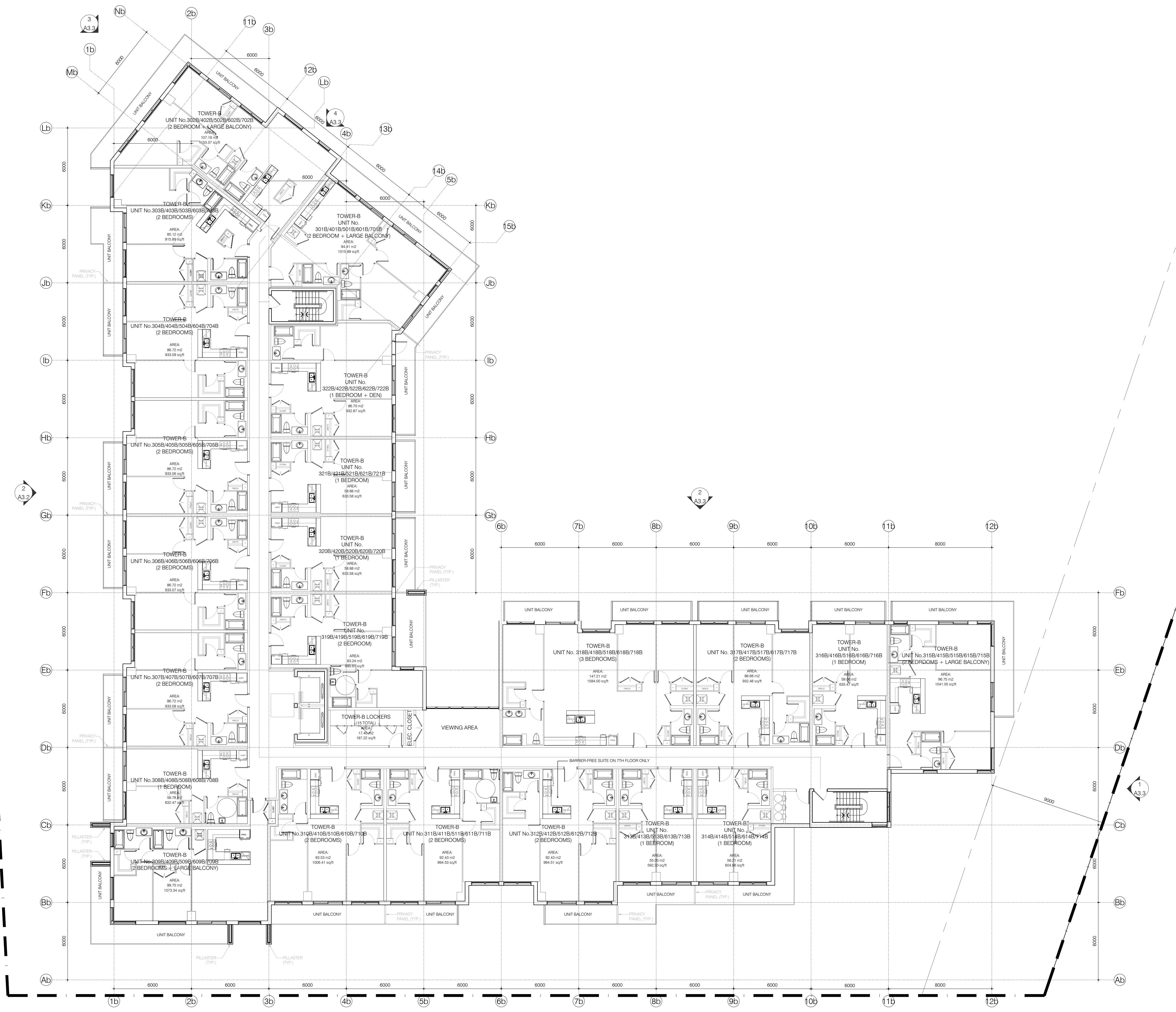
FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

DRAWING: THIRD TO SIXTH FLOOR PLAN TOWER A

DATE	PROJECT No.
05/04/2024	2019-22
SCALE	DRAWING No.
AS NOTED	A2.4A
DESIGNED BY	REVIEWED BY
L.C.	F.C.

FILE NAME: C:\P\BOLTON\12148 ALBION VAUGHAN RD. 2024\24-05-07.DWG



KEY PLAN

ONTARIO ASSOCIATION OF ARCHITECTS
FAUSTO CORTESI LICENCE 7774

1 THIRD TO SEVENTH FLOOR PLAN - TOWER B
A2.4B SCALE: 1:150

No.	DESCRIPTION	DATE
4	REVISED FOR SPA	2024-05-02
3	REVISED FOR SPA	2024-04-02
2	REVISED FOR COORDINATION	2023-12-09
1	REVISED FOR SPA	2023-03-15

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

FCA

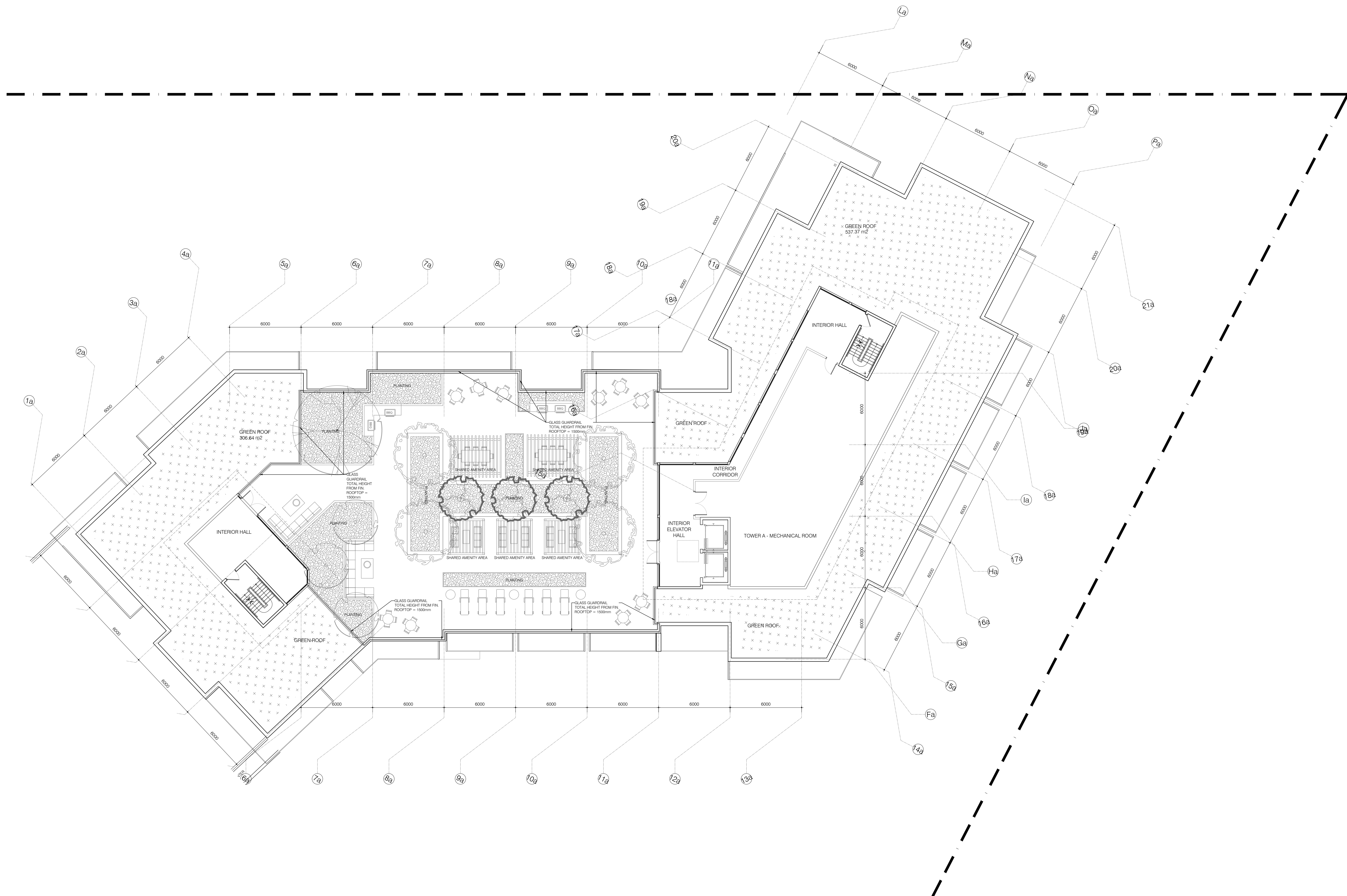
FAUSTO CORTESI ARCHITECTS

3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESI@FCARCHITECTS.CA

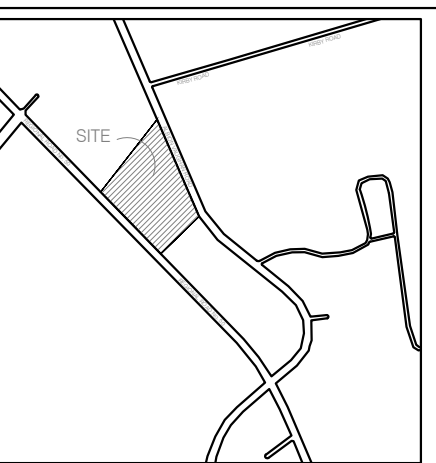
PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION VAUGHAN RD.
BOLTON
TOWN OF CALEDON

DRAWING: THIRD TO SEVENTH FLOOR PLAN TOWER B

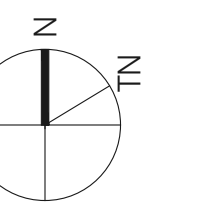
DATE	PROJECT No.
05/04/2024	2019-22
SCALE	DRAWING No.
AS NOTED	A2.4B
DRAWN BY	REVIEWED BY
L.C.	F.C.



1 PENTHOUSE - TOWER A
A2.5A SCALE: 1:150



KEY PLAN



4	RE-issued FOR SPA	2024-05-10
3	RE-issued FOR SPA	2024-04-10
2	issued FOR COORDINATION	2023-12-09
1	RE-issued FOR SPA	2023-03-10
No.	DESCRIPTION	DATE
REVISIONS		

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL 2021-01-27

SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED AND SEALED BY THE DESIGNER.

DO NOT SCALE DRAWINGS.

FCA

FAUSTO CORTESE
ARCHITECTS

3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION VAUGHAN RD.
BOLTON
TOWN OF CALEDON

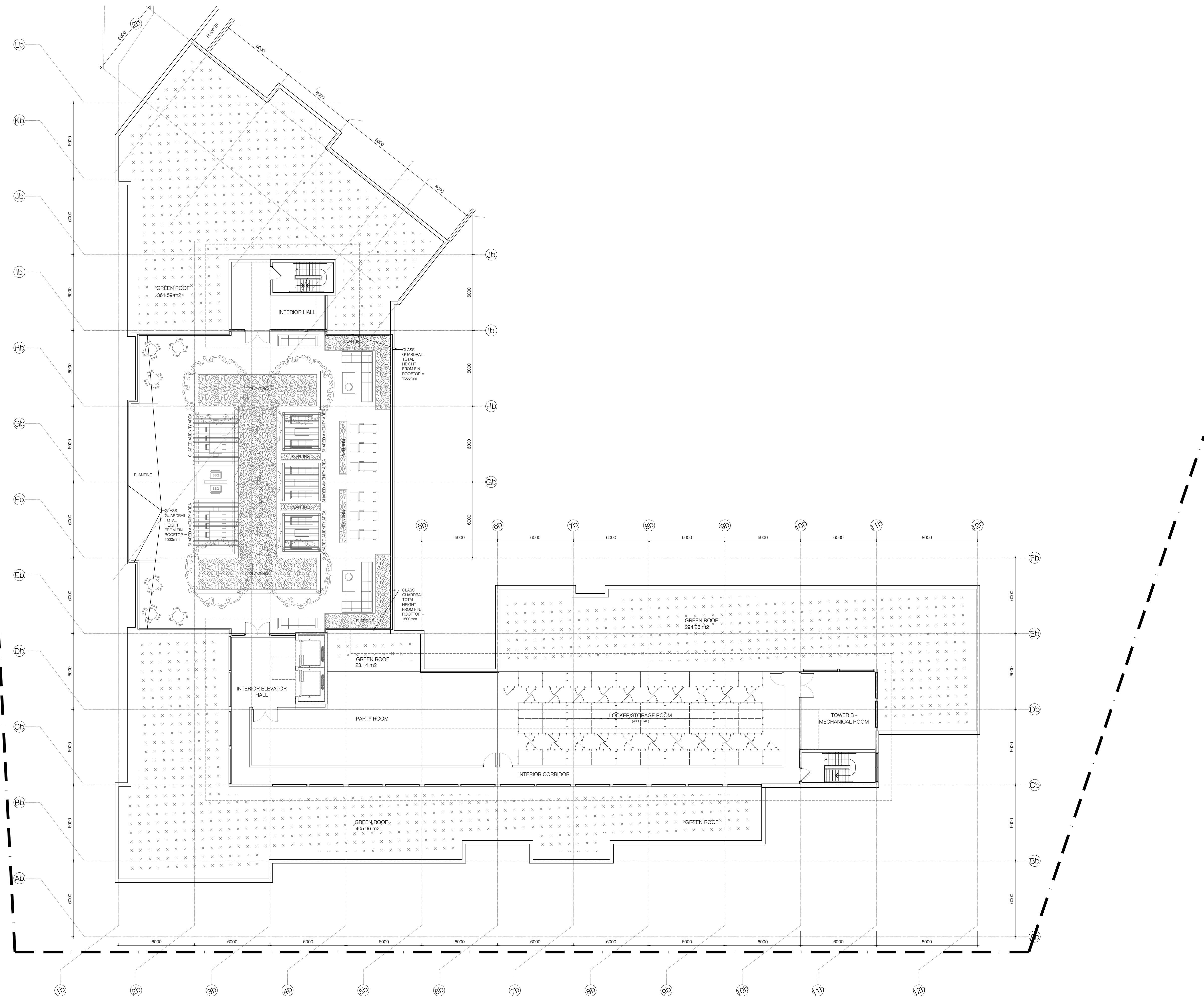
DRAWING: PENTHOUSE TOWER A

DATE: 05/04/2024 PROJECT No: 2019-22

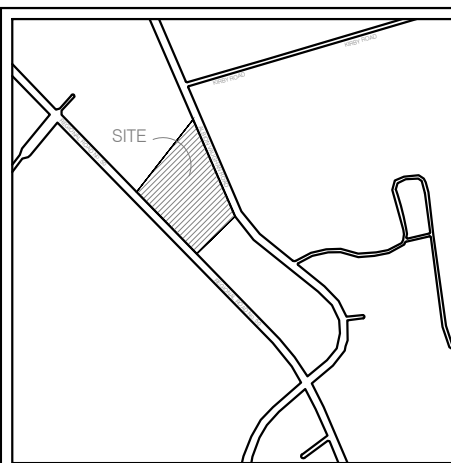
SCALE: AS NOTED DRAWING No: A2.5A

DESIGNED BY: AD REVIEWED BY: F.C.

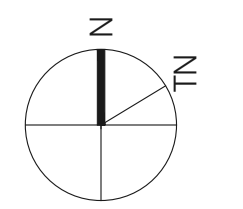
FILE NAME: D:\P\BOLTON\A2.5A\A2.5A-2024-05-10.DWG



1 PENTHOUSE - TOWER B
A2.5B SCALE: 1:150



KEY PLAN



4	RE-ISSUED FOR SPA	2024-05-10
3	RE-ISSUED FOR SPA	2024-04-10
2	ISSUED FOR COORDINATION	2023-12-09
1	RE-ISSUED FOR SPA	2023-03-10
No.	DESCRIPTION	DATE
REVISIONS		

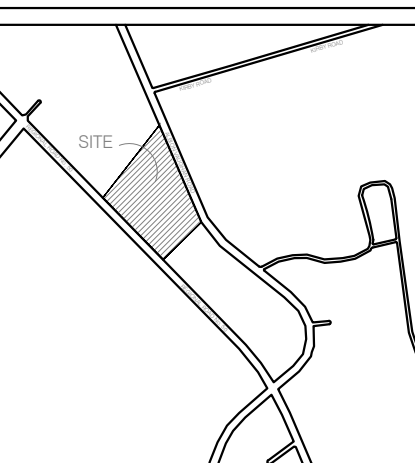
ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2021-01-27
 SUBMITTALS
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED AND SEALED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

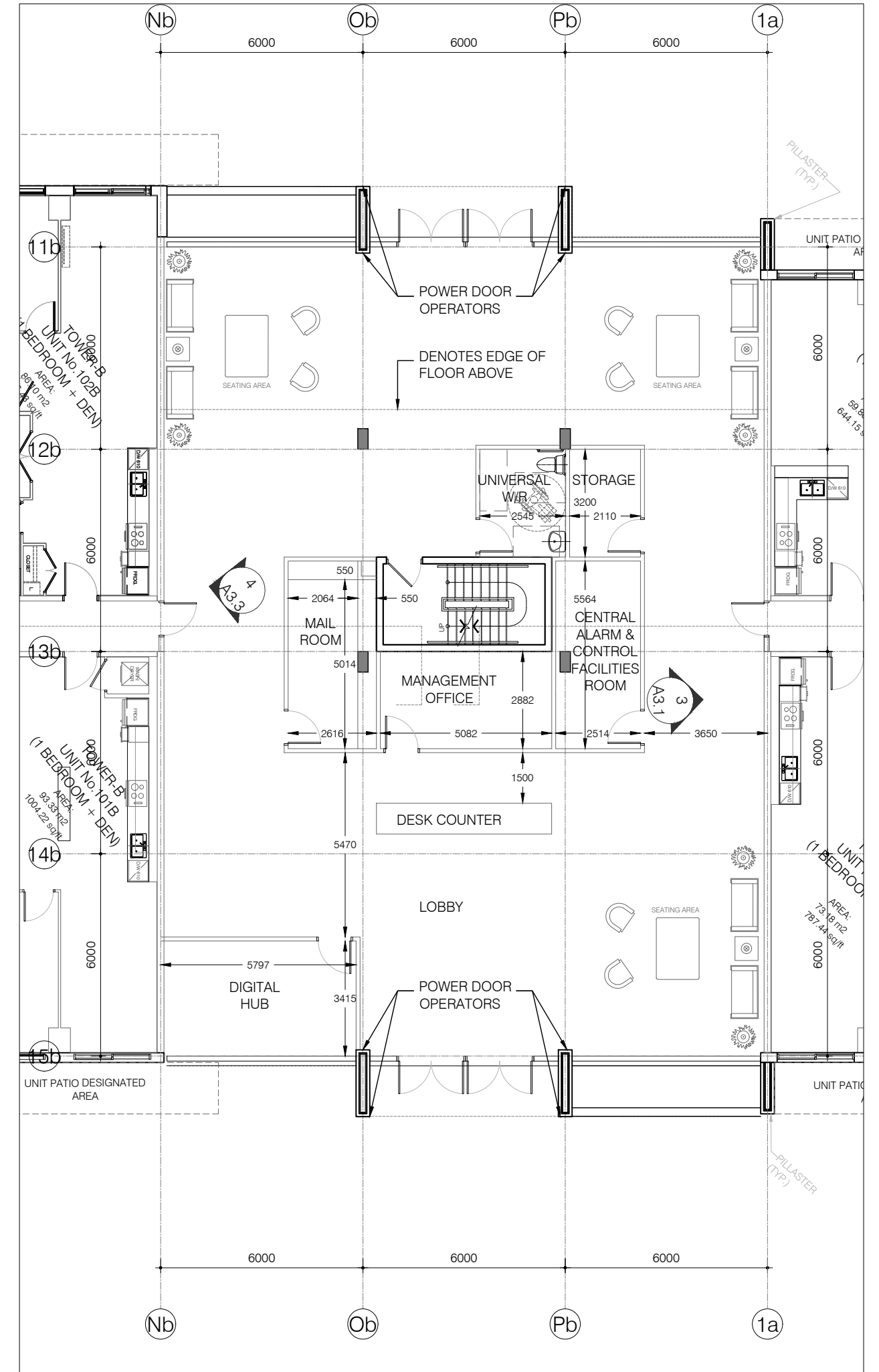
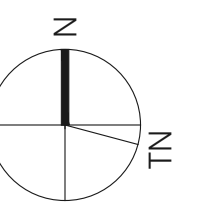
PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION VAUGHAN RD.
 BOLTON
 TOWN OF CALEDON

DRAWING: PENTHOUSE TOWER B	
DATE: 05/04/2024	PROJECT No: 2019-22
SCALE: AS NOTED	DRAWING No: A2.5B
DESIGNED BY: AD	REVIEWED BY: F.C.

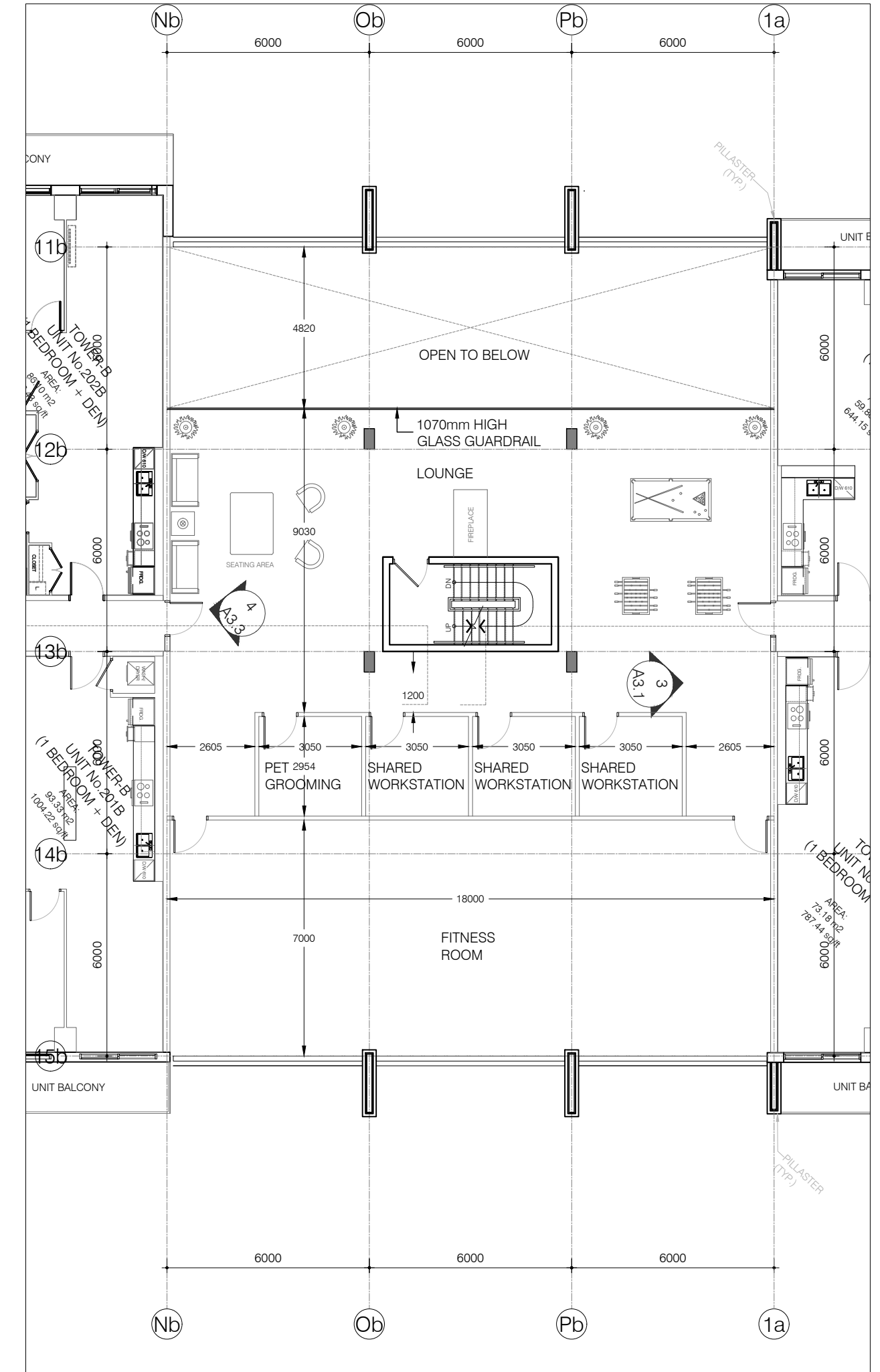
FILE NAME: D:\PENTHOUSE\A2.5B\A2.5B-2024-05-10.DWG



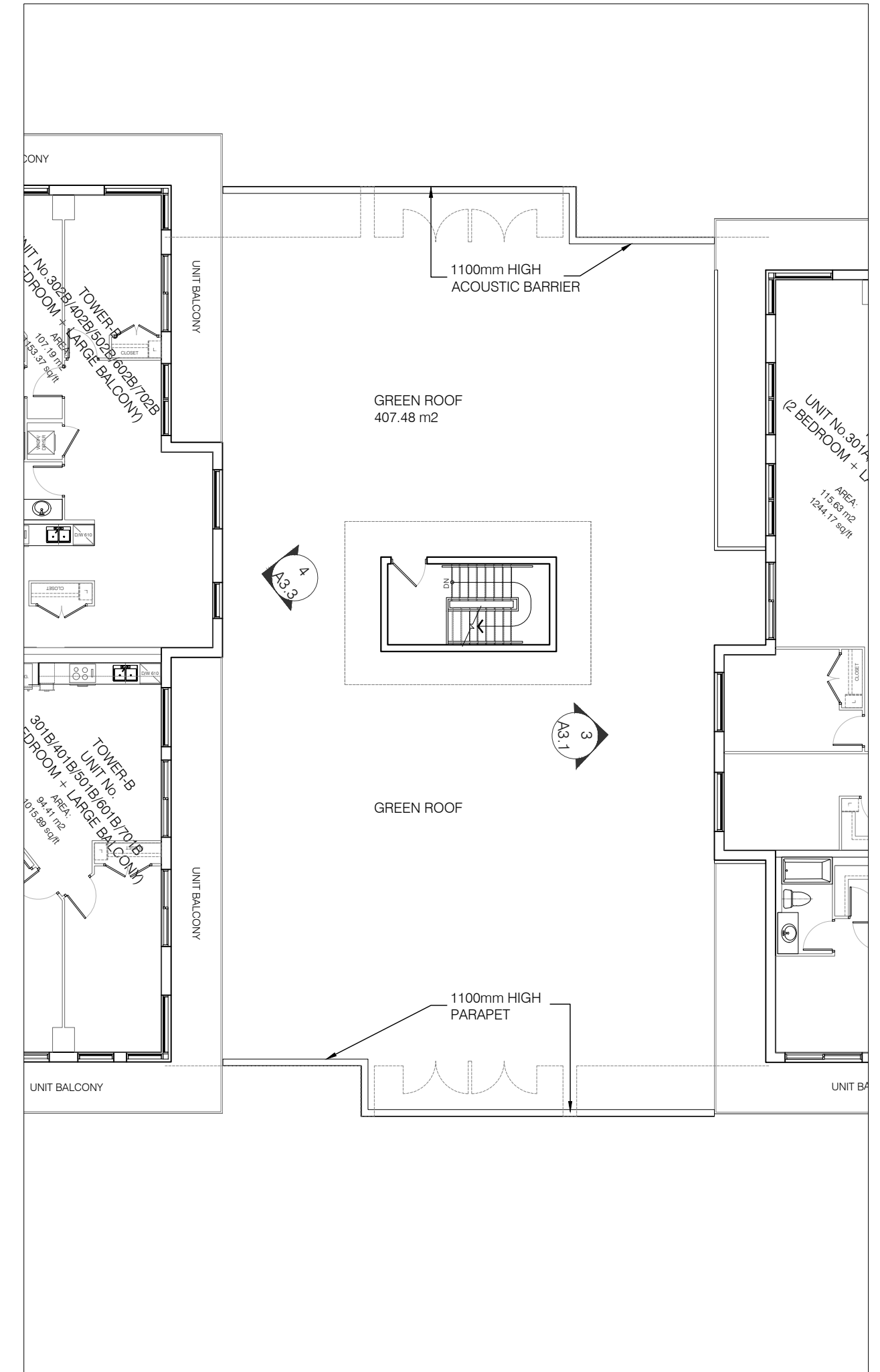
KEY PLAN



1 MAIN FLOOR PLAN - MAIN AMENITY CORE
SCALE: 1:150



2 2ND FLOOR PLAN - MAIN AMENITY CORE
SCALE: 1:150



3 ROOF PLAN - MAIN AMENITY CORE
SCALE: 1:150

No.	DESCRIPTION	DATE
4	RE-ISSUED FOR SPA	2024-05-10
3	RE-ISSUED FOR SPA	2024-04-10
2	ISSUED FOR COORDINATION	2023-12-09
1	RE-ISSUED FOR SPA	2023-03-13

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27
SUBMITTALS
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE
ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION VAUGHAN RD.
BOLTON
TOWN OF CALEDON

DRAWING: MAIN AMENITY CORE - PLANS	
DATE: 05/04/2024	PROJECT No: 2019-22
SCALE: AS NOTED	DRAWING No: A2.6
DESIGNED BY: AD	REVIEWED BY: F.C.

PLOT SCALE: 1" = 150'



1 WEST ELEVATION - TOWER A
A3.0 SCALE: 1:150



2 NORTH ELEVATION - TOWER A
A3.0 SCALE: 1:150



3 NORTH ELEVATION - TOWER A
A3.0 SCALE: 1:150



4 EAST ELEVATION - TOWER A
A3.0 SCALE: 1:150

EXTERIOR FINISH SCHEDULE

- 1 BRICK VENEER
- 2 MASONRY UNITS
- 3 VINYL WINDOWS W/ CLEAR VISION GLASS (BLACK FRAMES)
- 4 CLEAR VISION GLASS SLIDING DOORS (BLACK)
- 5 SPANDREL GLASS (DARK GREY REFLECTIVE)
- 6 ALUMINUM RAILING (DARK GREY) W/ TEMPERED LAMINATED VISION GLASS
- 7 CONCRETE BALCONIES SMOOTH CONCRETE FINISH (GREY)
- 8 ALUMINUM COMPOSITE MATERIAL (DARK GREY)
- 9 PREFINISHED METAL FLASHING (BLACK)
- 10 ALUMINUM METAL SIDING (LONGBOARD - WESTERN CEDAR)
- 11 BRICK VENEER SOLDIER COURSE
- 12 PRECAST SILL (GREY)
- 13 CLEAR VISION GLASS ALUMINUM FRAME CURTAIN WALL (BLACK FRAMES)
- 14 GLASS CANOPY
- 15 WALL SCONCE LIGHTING

No.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	2021-01-27
2	ISSUED FOR BID	
3	ISSUED FOR BUILDING PERMIT	
4	ISSUED FOR SITE PLAN APPROVAL	2021-01-27

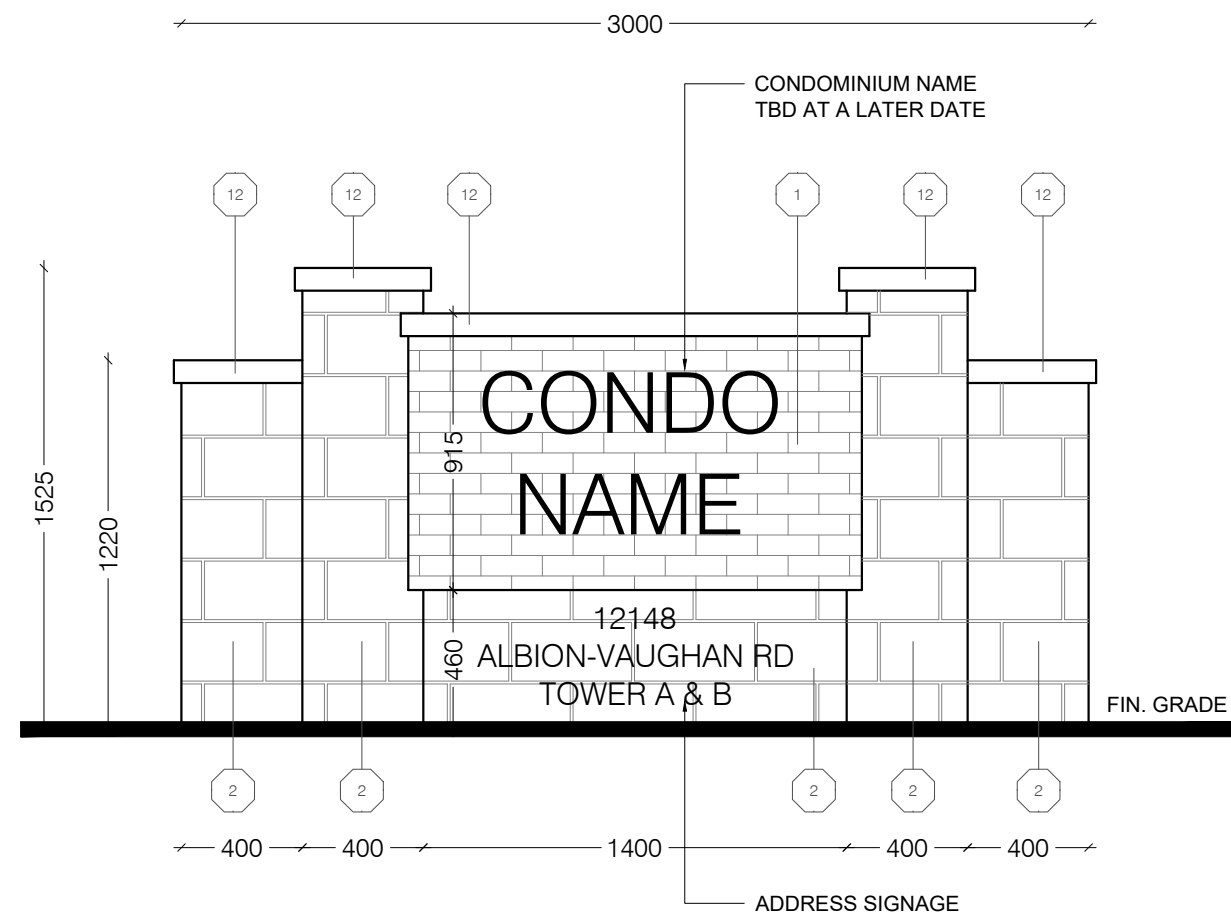
ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2021-01-27
 SUBMITTALS
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEAL AND SIGNED BY THE DESIGNER.
 DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION-VAUGHAN RD
 TOWN OF CALEDON

DATE	PROJECT NO.
05/04/2024	2019-22
SCALE: AS NOTED	DRAWING NO. A3.0
DRAWN BY: AD	REVIEWED BY: F.C.

FILE NAME: 01-FAUSTO ARCHITECTS-2019-22-2024-05-04



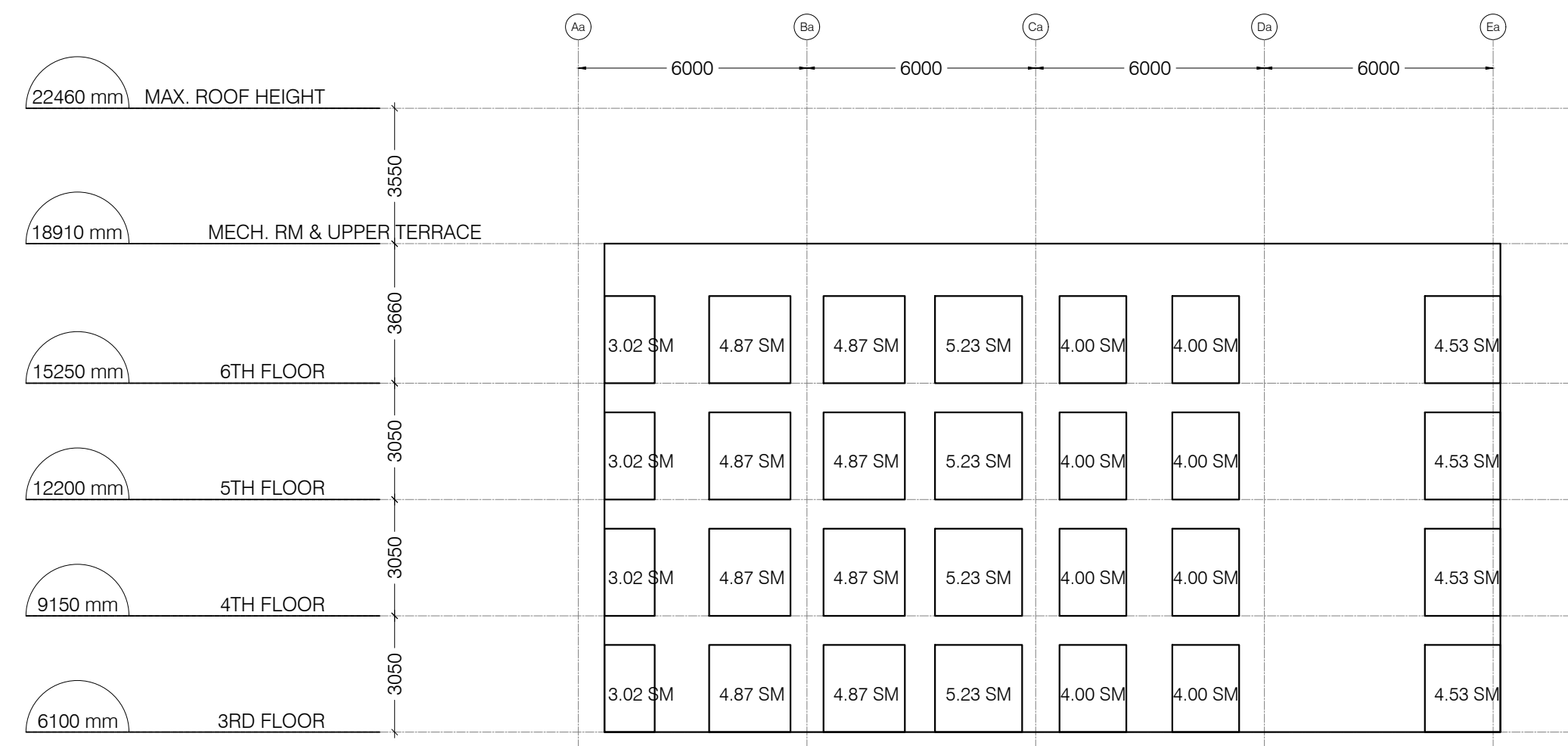
5 MAIN ENTRY SIGNAGE - FRONT ELEVATION
A3.1 SCALE: 1:25



1 EAST ELEVATION - TOWER A
A3.1 SCALE: 1:150



2 EAST ELEVATION - OVERALL
A3.1 SCALE: 1:250



UNPROTECTED OPENING LIMITS:
TOTAL AREA OF WALL = 301.07 SM
AREA OF UNPROTECTED OPENINGS PROVIDED = 152.60 SM
% OF UNPROTECTED OPENINGS PROVIDED = 50.7%
% OF UNPROTECTED OPENINGS ALLOWED @ 7.2m LIMITING DISTANCE = 66%

4 UNPROTECTED OPENING LIMIT SOUTH ELEVATION BETWEEN AMENITIES - TOWER A
A3.1 SCALE: 1:150



3 SOUTH ELEVATION BETWEEN AMENITIES - TOWER A
A3.1 SCALE: 1:150

EXTERIOR FINISH SCHEDULE

- 1 BRICK VENEER
- 2 MASONRY UNITS
- 3 VINYL WINDOWS W/ CLEAR VISION GLASS (BLACK FRAMES)
- 4 CLEAR VISION GLASS SLIDING DOORS (BLACK)
- 5 SPANDREL GLASS (DARK GREY REFLECTIVE)
- 6 ALUMINUM RAILING (DARK GREY) W/ TEMPERED LAMINATED VISION GLASS
- 7 CONCRETE BALCONIES SMOOTH CONCRETE FINISH (GREY)
- 8 ALUMINUM COMPOSITE MATERIAL (DARK GREY)
- 9 PREFINISHED METAL FLASHING (BLACK)
- 10 ALUMINUM METAL SIDING (LONGBOARD - WESTERN CEDAR)
- 11 BRICK VENEER SOLDIER COURSE
- 12 PRECAST SILL (GREY)
- 13 CLEAR VISION GLASS ALUMINUM FRAME CURTAIN WALL (BLACK FRAMES)
- 14 GLASS CANOPY
- 15 WALL SCONCE LIGHTING

No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.



FAUSTO CORTESE
ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION-VAUGHAN RD
BOLTON
TOWN OF CALEDON

DATE	PROJECT No.
05/04/2024	2019-22
SCALE: AS NOTED	DRAWING No. A3.1
DRAWN BY: AD	REVIEWED BY: F.C.



1 SOUTH ELEVATION - TOWER B
A3.2 SCALE: 1:150



2 WEST ELEVATION - TOWER B
A3.2 SCALE: 1:150

EXTERIOR FINISH SCHEDULE

- 1 BRICK VENEER
- 2 MASONRY UNITS
- 3 VINYL WINDOWS W/ CLEAR VISION GLASS (BLACK FRAMES)
- 4 CLEAR VISION GLASS SLIDING DOORS (BLACK)
- 5 SPANDREL GLASS (DARK GREY REFLECTIVE)
- 6 ALUMINUM RAILING (DARK GREY) W/ TEMPERED LAMINATED VISION GLASS
- 7 CONCRETE BALCONIES SMOOTH CONCRETE FINISH (GREY)
- 8 ALUMINUM COMPOSITE MATERIAL (DARK GREY)
- 9 PREFINISHED METAL FLASHING (BLACK)
- 10 ALUMINUM METAL SIDING (LONGBOARD - WESTERN CEDAR)
- 11 BRICK VENEER SOLDIER COURSE
- 12 PRECAST SILL (GREY)
- 13 CLEAR VISION GLASS ALUMINUM FRAME CURTAIN WALL (BLACK FRAMES)
- 14 GLASS CANOPY
- 15 WALL SCONCE LIGHTING

No.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	2021-01-27
2	ISSUED FOR BID	
3	ISSUED FOR BUILDING PERMIT	
4	ISSUED FOR SITE PLAN APPROVAL	2021-01-27

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27

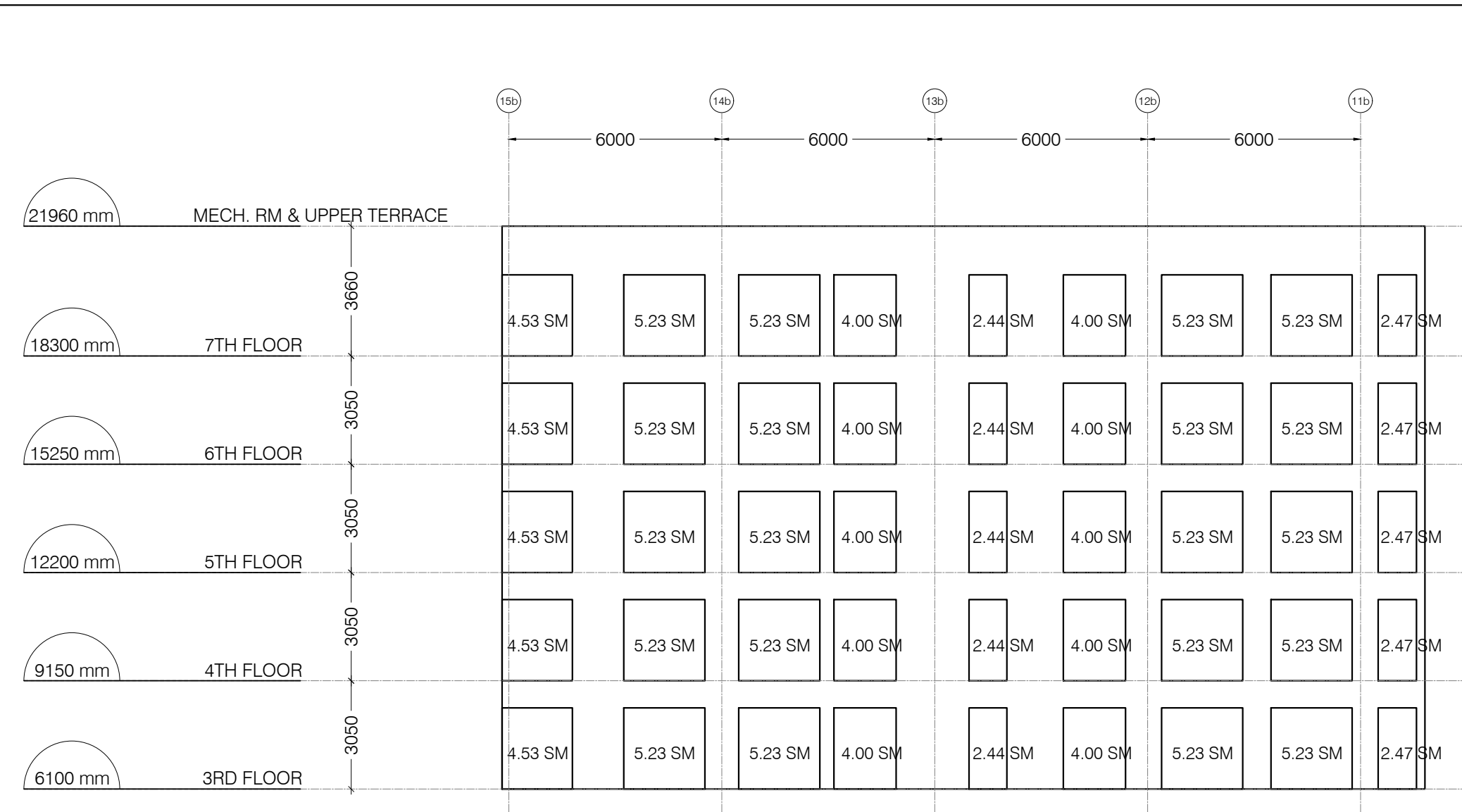
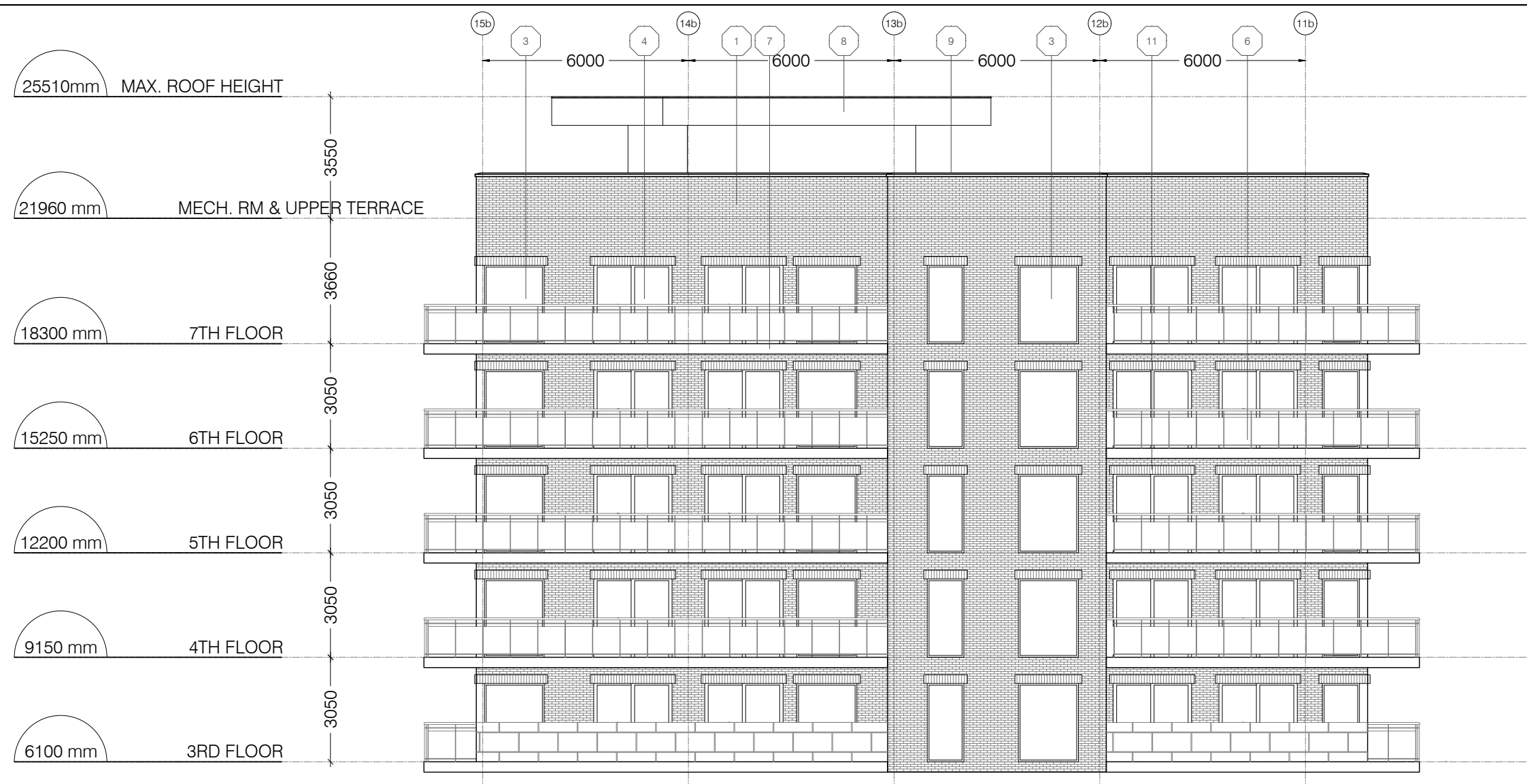
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.



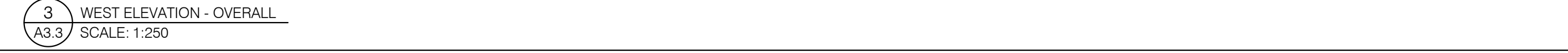
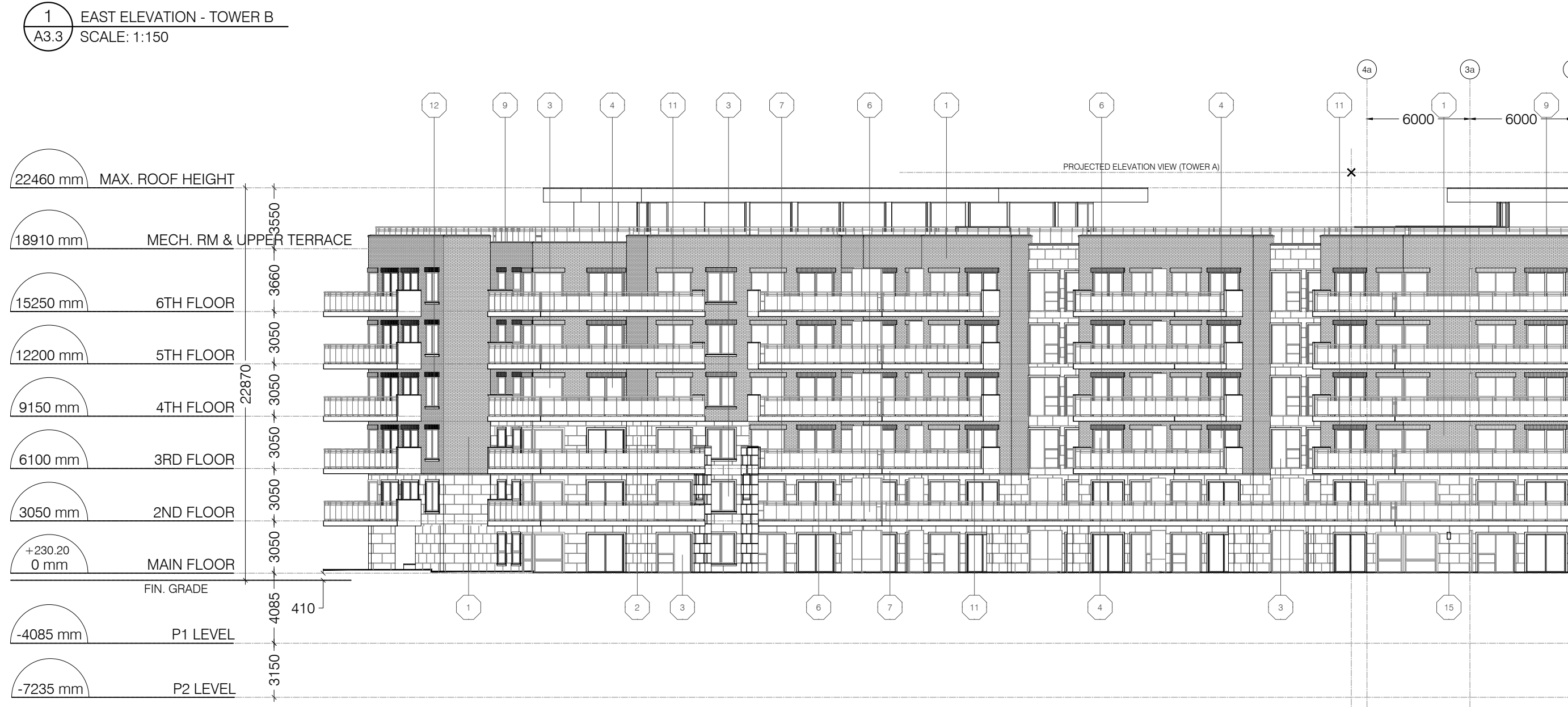
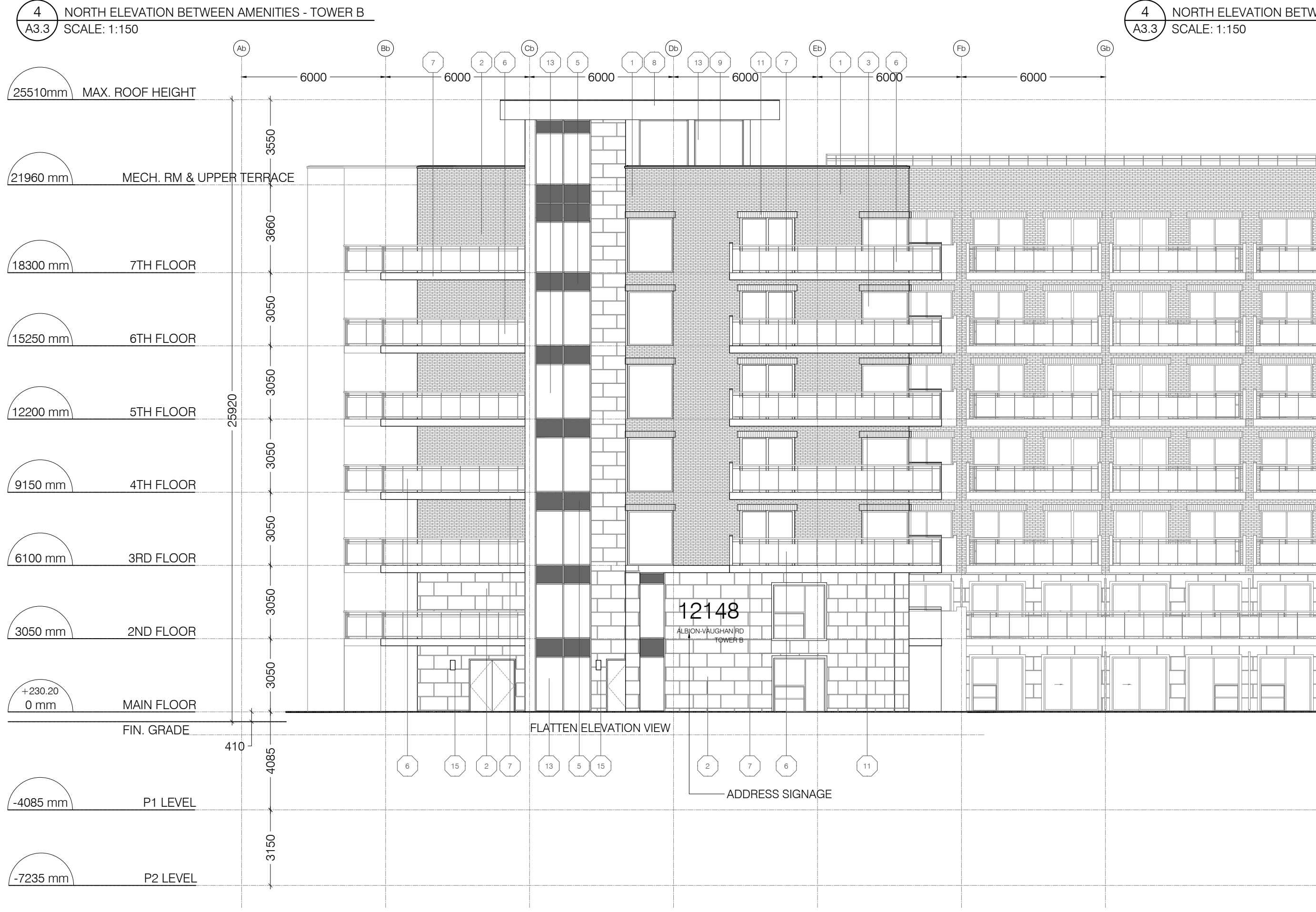
FAUSTO CORTESE
ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION-VAUGHAN RD
BOLTON
TOWN OF CALEDON

DATE	PROJECT NO.
05/04/2024	2019-22
SCALE: AS NOTED	DRAWING NO: A3.2
DRAWN BY: AD	REVIEWED BY: F.C.



UNPROTECTED OPENING LIMITS:
 TOTAL AREA OF WALL = 412.40 SM
 AREA OF UNPROTECTED OPENINGS PROVIDED = 191.80 SM
 % OF UNPROTECTED OPENINGS PROVIDED = 46.5%
 % OF UNPROTECTED OPENINGS ALLOWED @ 7.2m LIMITING DISTANCE = 66%



EXTERIOR FINISH SCHEDULE

- 1 BRICK VENEER
- 2 MASONRY UNITS
- 3 VINYL WINDOWS W/ CLEAR VISION GLASS (BLACK FRAMES)
- 4 CLEAR VISION GLASS SLIDING DOORS (BLACK)
- 5 SPANDREL GLASS (DARK GREY REFLECTIVE)
- 6 ALUMINUM RAILING (DARK GREY) W/ TEMPERED LAMINATED VISION GLASS
- 7 CONCRETE BALCONIES SMOOTH CONCRETE FINISH (GREY)
- 8 ALUMINUM COMPOSITE MATERIAL (DARK GREY)
- 9 PREFINISHED METAL FLASHING (BLACK)
- 10 ALUMINUM METAL SIDING (LONGBOARD - WESTERN CEDAR)
- 11 BRICK VENEER SOLDIER COURSE
- 12 PRECAST SILL (GREY)
- 13 CLEAR VISION GLASS ALUMINUM FRAME CURTAIN WALL (BLACK FRAMES)
- 14 GLASS CANOPY
- 15 WALL SCONCE LIGHTING

No.	REVISIONS	DATE

ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL 2021-01-27
 SUBMITTALS

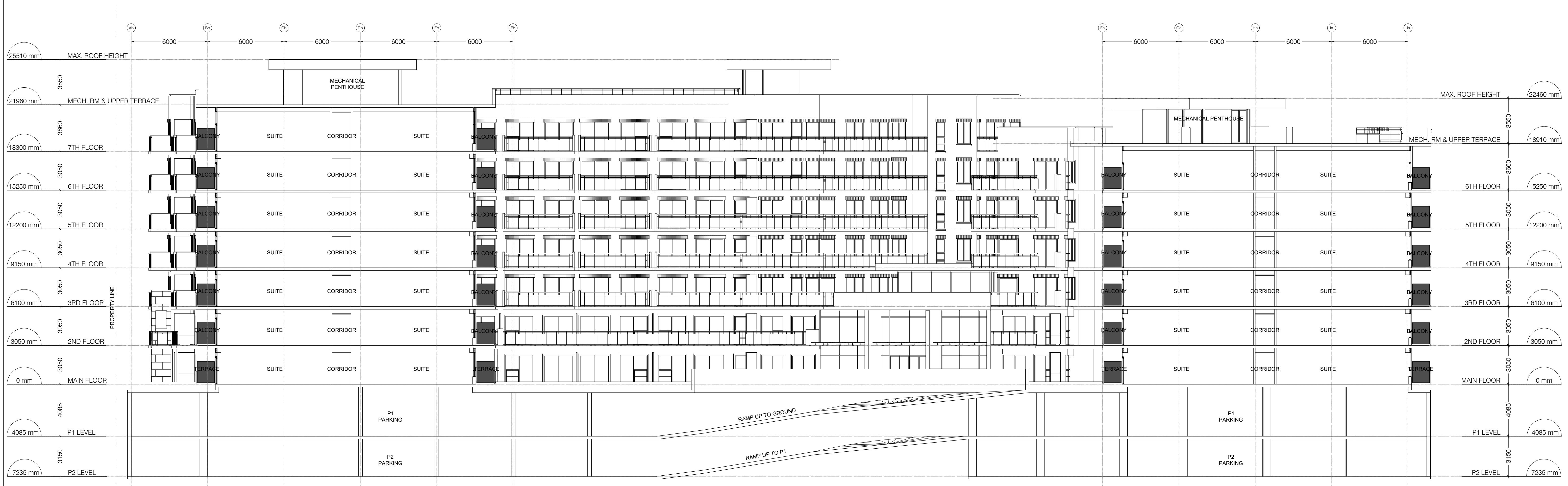
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.



FAUSTO CORTESE
 ARCHITECTS
 3590 RUTHERFORD RD. UNIT 7
 VAUGHAN, ONTARIO, L4H 3T8
 416-806-7000
 FCORTESE@FCAARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
 12148 ALBION-VAUGHAN RD
 BOLTON
 TOWN OF CALEDON

DRAWING: ELEVATIONS - TOWER B	
DATE: 05/04/2024	PROJECT NO: 2019-22
SCALE: AS NOTED	DRAWING NO: A3.3
DRAWN BY: AD	REVIEWED BY: F.C.



1 BUILDING SECTION
A4.0 SCALE: 1:150



2 BUILDING SECTION
A4.0 SCALE: 1:150

No.	DESCRIPTION	DATE
1	ISSUED FOR CONSTRUCTION	2021-01-27
2	ISSUED FOR BID	
3	ISSUED FOR BUILDING PERMIT	
4	ISSUED FOR SITE PLAN APPROVAL	

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27
SUBMITTALS
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

FCA
FAUSTO CORTESE ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION-VAUGHAN RD
BOLTON
TOWN OF CALEDON

DRAWING: BUILDING SECTIONS	
DATE: 05/04/2024	PROJECT NO: 2019-22
SCALE: AS NOTED	DRAWING NO: A4.0
DRAWN BY: AD	REVIEWED BY: F.C.

FILE NAME: 019\FALB012024\A4.0 - 20240504.DWG PLOT SCALE: 1:1