

TOWER A + AMENITY		Name of Project: Fausto Cortese Architect MIX-USED CONDO DEVELOPMENT AT 12148 ALBION VAUGHAN RD. BOLTON - CALEDON		Location: 3560 Rutherford road, Unit 7 Vaughan, Ontario	
Ontario Building Code Data Matrix - Part 3 & 9					
				OBC Reference	
References are to Division B (unless noted [A] for Division A or [C] for Division C)					
1	Project Description: 3 & 6 Storeys Condo Building	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 1.1.2, [A]	<input type="checkbox"/> Part 9 1.1.2, 9.10.1.3
2	Major Occupancy(s)	Group C		3.1.2.1 (1)	9.10.2
3	Building Area (m ²)	NEW: 2400.72 m ²	TOTAL: 2400.72 m ²	1.4.1.2 [A] 1	1.4.1.2 [A]
4	Gross Area (m ²)	NEW: 13010.64 m ²	TOTAL: 13010.64 m ²	1.4.1.2 [A]	1.4.1.2 [A]
5	Number of Storeys	Above Grade: 6	Below Grade: 2	1.4.1.2 [A] & 3.2.1.1	1.4.1.2 [A] 9.10.4
6	Number of Streets/Fire Fighter Access: 1			3.2.2.10 & 3.2.5.	9.10.20
7	Building Classification: 3.2.2.43	GROUP C		3.2.2.43	9.10.2
8	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement	<input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required <input type="checkbox"/> EXISTING NO CHANGE	3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX
9	Standpipe required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.9.	N/A
10	Fire Alarm required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4.	9.10.18
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.	N/A
12	High Building	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.6	N/A
13	Construction Restrictions	<input type="checkbox"/> Combustible Permitted <input type="checkbox"/> Combustible	<input checked="" type="checkbox"/> Non-combustible Required <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.67	9.10.6
14	Mezzanine Area (m ²): N/A			3.2.1.1 (3)-(8)	9.10.4.1
15	Occupant load based on	<input type="checkbox"/> m ² /person Occupancy: 350	<input checked="" type="checkbox"/> design of building Load:	3.1.17	9.8.1.3
16	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain):		3.8	9.5.2
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2. & 3.3.1.19	9.10.1.3(4)
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floor: 1 Hours Roof: 0 Hours FRR of Supporting Members Floor: 1 Hours Roof: - Hours	Listed Design No. or Description (SB-3)	3.2.2.20 - 83 & 3.2.1.4	9.10.8 9.10.9
19	Spatial Separation - Construction of Exterior Walls - Existing Building			3.2.3	9.10.14
	Wall	Area of EBF (m ²)	L.D. (m) L.H. or HL Permitted Max. % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description	Comb. Const. Comb. Const. Nonc. Cladding	Non-comb. Const.
Left	North	NO CHANGE	-	-	-
Front	South	NO CHANGE	-	-	-
Rear	East	NO CHANGE	-	-	-
Right	West	NO CHANGE	-	-	-



Albion Vaughan Road Condos

TOWER B		Name of Project: Fausto Cortese Architect MIX-USED CONDO DEVELOPMENT AT 12148 ALBION VAUGHAN RD. BOLTON - CALEDON		Location: 3560 Rutherford road, Unit 7 Vaughan, Ontario	
Ontario Building Code Data Matrix - Part 3 & 9					
				OBC Reference	
References are to Division B (unless noted [A] for Division A or [C] for Division C)					
1	Project Description: 7 Storey Condo Building	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 1.1.2, [A]	<input type="checkbox"/> Part 9 1.1.2, 9.10.1.3
2	Major Occupancy(s)	Group C		3.1.2.1 (1)	9.10.2
3	Building Area (m ²)	NEW: 2092.75 m ²	TOTAL: 2092.75 m ²	1.4.1.2 [A] 1	1.4.1.2 [A]
4	Gross Area (m ²)	NEW: 14680.14 m ²	TOTAL: 14680.14 m ²	1.4.1.2 [A]	1.4.1.2 [A]
5	Number of Storeys	Above Grade: 7	Below Grade: 2	1.4.1.2 [A] & 3.2.1.1	1.4.1.2 [A] 9.10.4
6	Number of Streets/Fire Fighter Access: 1			3.2.2.10 & 3.2.5.	9.10.20
7	Building Classification: 3.2.2.42	GROUP C		3.2.2.42	9.10.2
8	Sprinkler System Proposed	<input checked="" type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement	<input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required <input type="checkbox"/> EXISTING NO CHANGE	3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX
9	Standpipe required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.9.	N/A
10	Fire Alarm required	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4.	9.10.18
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.	N/A
12	High Building	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.6	N/A
13	Construction Restrictions	<input type="checkbox"/> Combustible Permitted <input type="checkbox"/> Combustible	<input checked="" type="checkbox"/> Non-combustible Required <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.67	9.10.6
14	Mezzanine Area (m ²): N/A			3.2.1.1 (3)-(8)	9.10.4.1
15	Occupant load based on	<input type="checkbox"/> m ² /person Occupancy: 420	<input checked="" type="checkbox"/> design of building Load:	3.1.17	9.8.1.3
16	Barrier-free Design	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain):		3.8	9.5.2
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2. & 3.3.1.19	9.10.1.3(4)
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floor: 2 Hours Roof: 0 Hours FRR of Supporting Members Floor: 2 Hours Roof: - Hours	Listed Design No. or Description (SB-3)	3.2.2.20 - 83 & 3.2.1.4	9.10.8 9.10.9
19	Spatial Separation - Construction of Exterior Walls - Existing Building			3.2.3	9.10.14
	Wall	Area of EBF (m ²)	L.D. (m) L.H. or HL Permitted Max. % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description	Comb. Const. Comb. Const. Nonc. Cladding	Non-comb. Const.
Left	North	NO CHANGE	-	-	-
Front	South	NO CHANGE	-	-	-
Rear	East	NO CHANGE	-	-	-
Right	West	NO CHANGE	-	-	-

PROJECT ARCHITECTURAL DESIGN
FCA Architects - FAUSTO CORTESE ARCHITECTS
3590 Rutherford Road, Unit 7
Woodbridge, Ontario
L4H 3T8
T: 416-806-7000

PLANNING
KLM PLANNING PARTNERS INC.
PLANNING - DESIGN - DEVELOPMENT
64 Jardin Drive, Unit 1B
Concord, Ontario
L4K 3P3
T: 905-669-4055

LANDSCAPE
MSLA
MARTON SMITH LANDSCAPE ARCHITECTS
170 The Don Way West, Suite 206
North York, Ontario
M3C 2G3
T: 416-492-9966

ENGINEERING CONSULTANTS
TRISTAR ENGINEERING LTD.
9901 Woodbine Ave., Suite 116
Markham, Ontario
L3R 9Y4
T: 905-604-3801

ACOUSTIC
HGC ENGINEERING - Howe Gastmeier Chapnik Limited
NOISE - VIBRATION - ACOUSTICS
2000 Argenta Rd 1, Suite 203
Mississauga, Ontario
L5N 1P7
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TRANSPORTATION CONSULTANTS
PARADIGM TRANSPORTATION SOLUTIONS LIMITED
150 Pinebush Rd. Suite 5A
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LANDSCAPE CONSULTANTS
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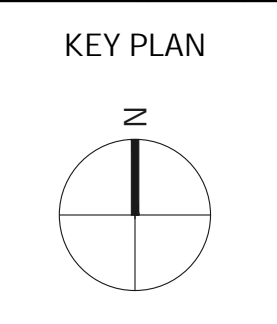
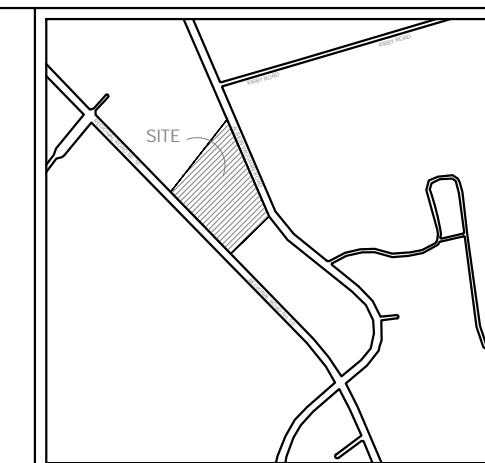
- GENERAL NOTES**
- For landscaping, refer to landscape drawings
 - For proposed grading, refer to landscape drawings and approved grading plan.
 - For detailed lighting plan, refer to lighting drawings.
 - All perimeter existing information indicated taken from survey.
 - All work to be done in conformance with the 2012 Ontario Building Code (O.B.C., as amended)

- LIST OF ARCHITECTURAL DRAWINGS**
- A1.0 COVER PAGE
 - A1.1 SITE PLAN
 - A1.2 SHADOW STUDY
 - A2.0 P1 LEVEL (TOWNHOMES, TOWERS A & B)
 - A2.1 P2 LEVEL (TOWNHOMES, TOWERS A & B)
 - A2.2A MAIN FLOOR PLAN TOWER A
 - A2.2B MAIN FLOOR PLAN TOWER B

- LIST OF ARCHITECTURAL DRAWINGS**
- A2.3A 2ND FLOOR PLAN - TOWER A
 - A2.3B 2ND FLOOR PLAN - TOWER B
 - A2.4A 3RD TO 6TH FLOOR PLAN - TOWER A
 - A2.4B 3RD TO 7TH FLOOR PLAN - TOWER B
 - A2.5A PENTHOUSE - TOWER A
 - A2.5B PENTHOUSE - TOWER B
 - A2.6 MAIN AMENITY CORE FLOOR PLANS

- LIST OF ARCHITECTURAL DRAWINGS**
- A3.0 ELEVATIONS
 - A3.1 ELEVATIONS
 - A3.2 ELEVATIONS
 - A3.3 ELEVATIONS
 - A4.0 BUILDING SECTIONS

SITE DEVELOPMENT - TOWN OF CALEDON - ZONING BY-LAW RM ZONE (MULTIPLE RESIDENTIAL AREA)			
A - LOT AREA			
TOTAL LOT AREA	m ²	SO/FT	
GROSS SITE AREA (BEFORE ROAD WIDENING)	15375.96	165505.46	
DEVELOPABLE SITE AREA (AFTER ROAD WIDENING)	13333.83	143524.15	
NET DEVELOPABLE AREA	10255.99	110394.56	
B - GROSS FLOOR AREA			
B.1 - UNDERGROUND LEVEL			
	QTY.	m ²	SO/FT
PARKING LEVEL 1 - P1	1	8860.96	95378.58
PARKING LEVEL 2 - P2	1	8860.96	95378.58
TOTAL GFA		17721.92	190757.16
B.2 - TOWER A (RESIDENTIAL CONDO GFA)			
GROUND FLOOR LEVEL	1	1829.26	19689.99
2ND FLOOR LEVEL	1	1870.33	20132.06
3RD FLOOR LEVEL	1	1882.15	20259.29
4TH TO 6TH FLOOR LEVEL	3	5646.45	60777.88
TOTAL GFA		11228.19	120859.23
TOTAL GFA (INCL. BALC./TERRACES)		12993.67	139862.70
B.3 - TOWER B (RESIDENTIAL CONDO GFA)			
GROUND FLOOR LEVEL	1	2019.14	21733.84
2ND FLOOR LEVEL	1	2019.14	21733.84
3RD FLOOR LEVEL	1	2113.65	22751.14
4TH TO 7TH FLOOR LEVEL	4	8454.60	91004.56
TOTAL GFA		14606.53	157223.38
TOTAL GFA (INCL. BALC./TERRACES)		17330.86	186547.82
B.4 - AMENITY SPACE (GFA)			
GROUND FLOOR LEVEL	1	432.68	4657.33
2ND FLOOR LEVEL	1	432.68	4657.33
3RD FLOOR LEVEL (TERRACE)	1	147.97	1592.74
TOWER A (ROOF LEVEL)	1	630.34	6784.92
TOWER B (ROOF LEVEL)	1	575.52	6194.85
TOTAL GFA		2219.19	23887.16
B.5 - SERVICE AREAS (GFA)			
TOWER A - STORAGE		138.78	1493.82
TOWER B - STORAGE		73.61	792.33
TOTAL GFA		212.39	2286.15
B.6 - GRAND TOTAL GFA			
TOTAL GFA (NOT INCLUDING UNDERGROUND PARKING, BALCONIES & TERRACES)		28246.30	304255.92
TOTAL GFA (INCLUDING TERRACES & BALCONIES)		32756.11	352583.83
C - NET DENSITY (UNITS/HECTARE)			
TOTAL UNITS/TOTAL NET DEVELOPABLE AREA	265 / 1.025599		
TOTAL DENSITY	258.5		
D - SITE STATISTICS			
BUILDING HEIGHT	N/A	25.51 m	83.69 ft
LOT COVERAGE	20% (Max) = 2051.20 m ²	5102.80 m ²	54926.08 sqft
LANDSCAPE AREA	45% (Min) = 4615.20 m ²	3075.10 m ²	33100.10 sqft
FRONTAGE	30 m (Min.)	106.90 m	350.72 ft
FRONT YARD	9.0 m (Min.)	9.20 m	30.18 ft
REAR YARD	7.50 m (Min.)	0.00 m	0.00 ft
SOUTH SIDE YARD	7.50 m (Min.)	3.97 m	13.02 ft
NORTH SIDE YARD	7.50 m (Min.)	5.65 m	18.54 ft
SNOW STORAGE	7% (Min) = 205.12 m ²	281.82 m ²	3033.49 sqft
PLAY FACILITY AREA	4% (Min) = 410.24 m ²	136.92 m ²	1473.79 sqft



TOWN OF CALEDON PLANNING RECEIVED
May 1, 2023

No.	REVISIONS	DATE
1	RE - ISSUED FOR SPA	2023-03-15

ISSUED FOR CONSTRUCTION
ISSUED FOR BID
ISSUED FOR BUILDING PERMIT
ISSUED FOR SITE PLAN APPROVAL 2021-01-27
SUBMITTALS
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED BY THE DESIGNER.
DO NOT SCALE DRAWINGS.

SURVEYOR'S REAL PROPERTY REPORT
PART 1, PLAN OF PART OF LOT 1

CONCESSION 7 (GEOGRAPHIC TOWNSHIP OF ALBION)

TOWN OF CALEDON
REGIONAL MUNICIPALITY OF PEEL

SCALE AS NOTED IN ORIGINAL SURVEY PLAN
David B. Searles Surveying Ltd.
ONTARIO LAND SURVEYORS

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BENCH MARK NOTE
ELEVATIONS ARE REFERRED TO THE CITY OF BRAMPTON BENCHMARK No. 042010221, BEING A BRASS CAP IN CONCRETE APPROX. 21 m SOUTH OF CENTRELINE OF NASHVILLE ROAD AND 11 m EAST OF CENTRELINE OF REGIONAL ROAD 50, IN FRONT OF GAS STATION/COFFEE SHOP, HAVING AN ELEVATION OF 220.967 m.

CAUTION
LOCATIONS OF ALL UTILITIES ARE APPROXIMATE. ALL UTILITIES SHOULD BE CONTACTED PRIOR TO ANY DIGGING OR CONSTRUCTION.

NOTE
PROPERTY LIMITS ARE NOT FENCED UNLESS OTHERWISE NOTED ON THE FACE OF THE PLAN.

FCA ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTES@FCAARCHITECTS.CA

PROPOSED MIX-USE CONDO DEVELOPMENT
12148 ALBION VAUGHAN RD.
BOLTON
TOWN OF CALEDON

COVER PAGE

DATE: 10/03/2023 PROJECT NO: 2019-22
SCALE: AS NOTED DRAWING NO: A1.0
DESIGNED BY: L.C. REVIEWED BY: F.C.