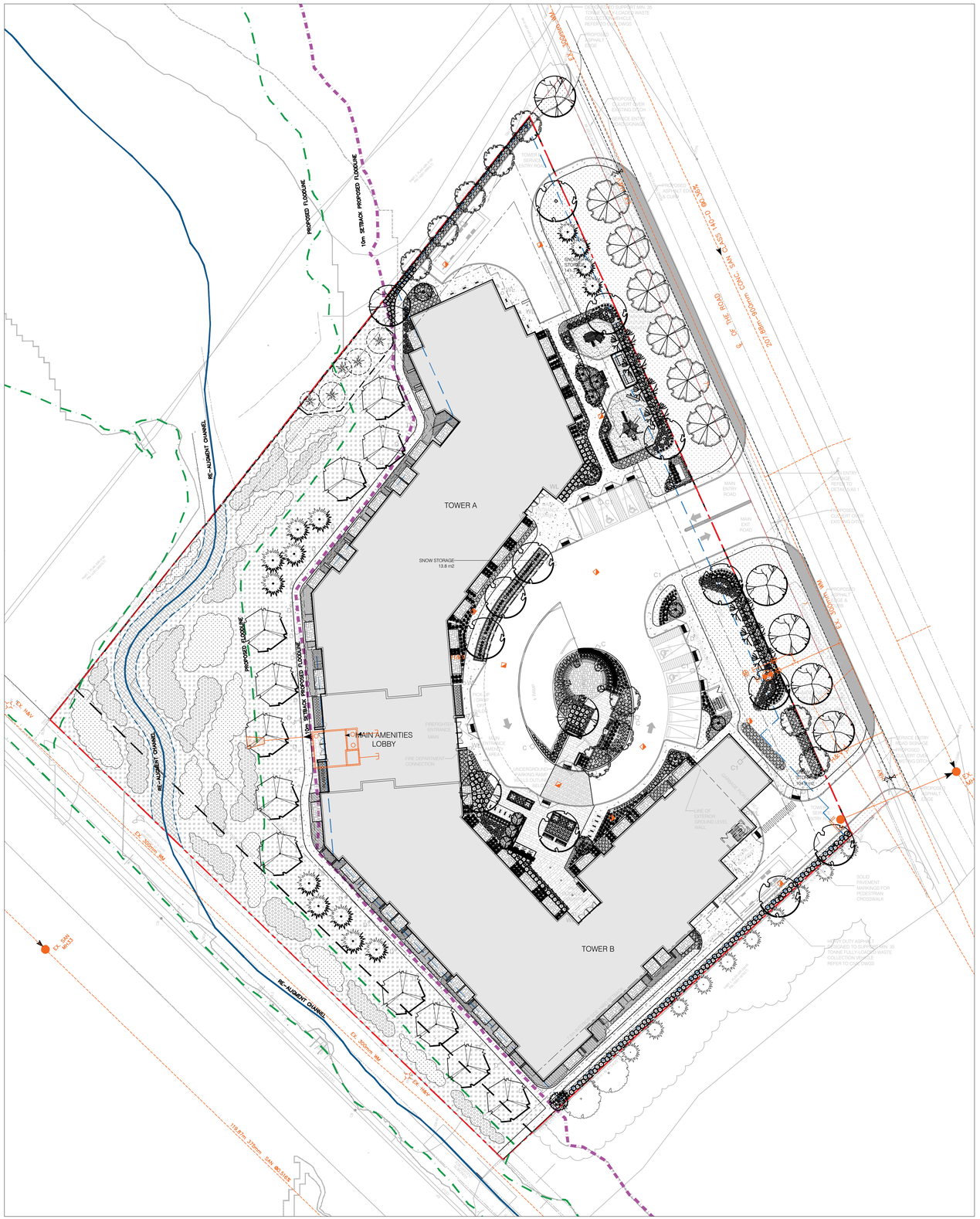
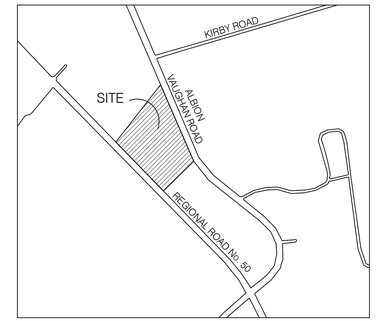


TOWN OF CALEDON
PLANNING
RECEIVED

November 27, 2024



Key Map

Proposed Residential Development

12148 ALBION-VAUGHAN RD

ISSUED FOR SUBMISSION

Drawing List

L0-00	Cover Page
L1-01	Landscape Master Plan
L1-02	North Enlargement Plan
L1-03	South Enlargement Plan
L2-01	Layout Plan
L3-01	Green Roof Plan
L4-01	Pedestrian Circulation Plan
LD-01	Landscape Details
LD-02	Landscape Details
LD-03	Landscape Details
LD-04	Landscape Details
LD-05	Landscape Details
LD-06	Landscape Details
LS-01	Landscape Sections

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Municipality:
THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

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02	Issued for Review	12/15/20
01	Issued for Review	11/19/20

North:

Stamp: ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS — OALA MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **1:400** Date: **Nov. 2020**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Cover Page

Project No. **20175** Sheet No. **L0-00**

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L1-02

Native Seed Mix Information

Refer to seed mix guidelines within the EIS Report prepared by Palmer Environmental for more information.

Application Rates:
The specified seed mix(es) should be applied at a rate of 22-25 kg/ha.

Cover Crop:
COMMON OATS (Avena sativa) NURSE CROP

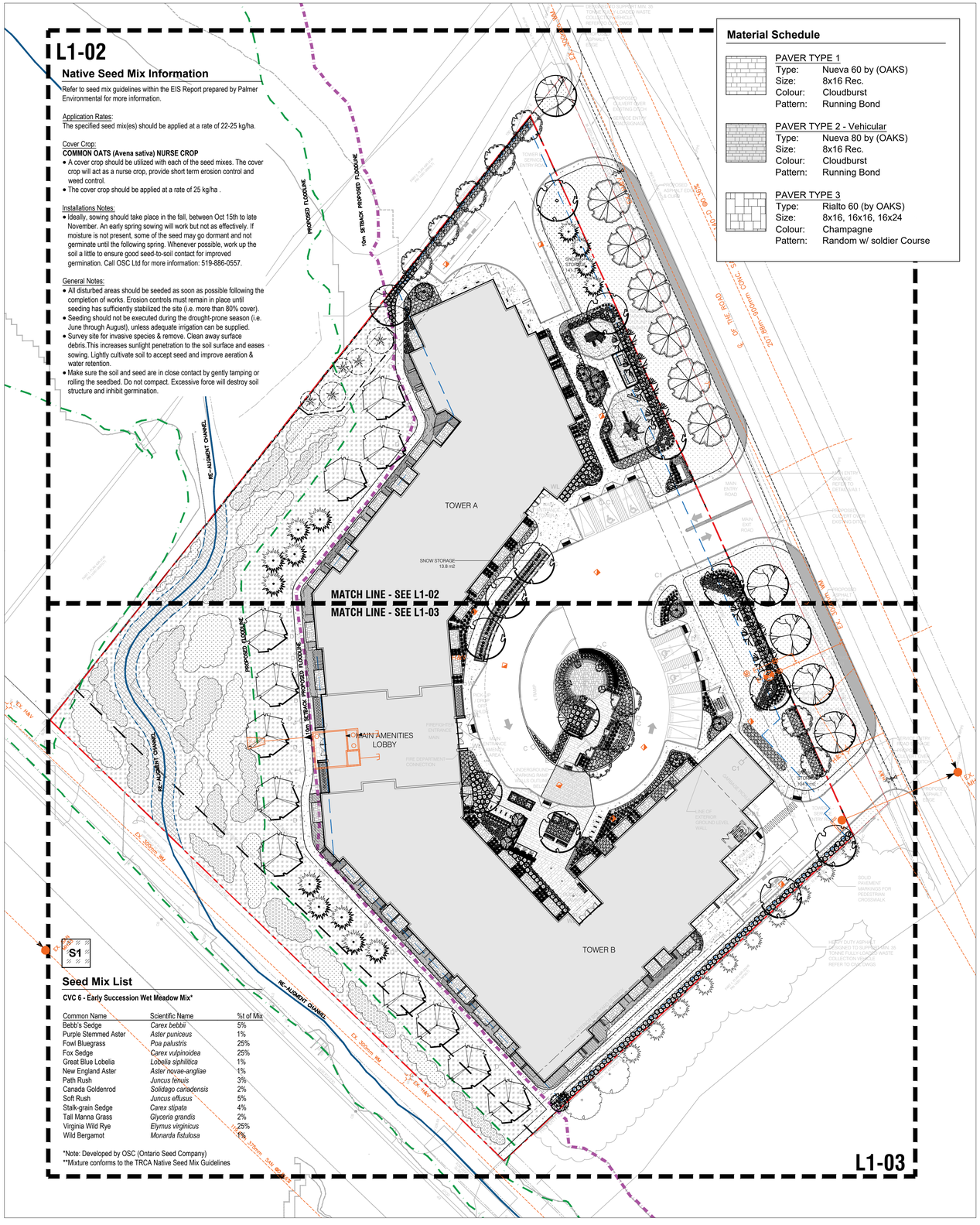
- A cover crop should be utilized with each of the seed mixes. The cover crop will act as a nurse crop, provide short term erosion control and weed control.
- The cover crop should be applied at a rate of 25 kg/ha .

Installations Notes:

- Ideally, sowing should take place in the fall, between Oct 15th to late November. An early spring sowing will work but not as effectively. If moisture is not present, some of the seed may go dormant and not germinate until the following spring. Whenever possible, work up the soil a little to ensure good seed-to-soil contact for improved germination. Call OSC Ltd for more information: 519-886-0557.

General Notes:

- All disturbed areas should be seeded as soon as possible following the completion of works. Erosion controls must remain in place until seeding has sufficiently stabilized the site (i.e. more than 80% cover).
- Seeding should not be executed during the drought-prone season (i.e. June through August), unless adequate irrigation can be supplied.
- Survey site for invasive species & remove. Clean away surface debris.This increases sunlight penetration to the soil surface and eases sowing. Lightly cultivate soil to accept seed and improve aeration & water retention.
- Make sure the soil and seed are in close contact by gently tamping or rolling the seedbed. Do not compact. Excessive force will destroy soil structure and inhibit germination.



Material Schedule

PAVER TYPE 1
Type: Nueva 60 by (OAKS)
Size: 8x16 Rec.
Colour: Cloudburst
Pattern: Running Bond

PAVER TYPE 2 - Vehicular
Type: Nueva 80 by (OAKS)
Size: 8x16 Rec.
Colour: Cloudburst
Pattern: Running Bond

PAVER TYPE 3
Type: Rialto 60 (by OAKS)
Size: 8x16, 16x16, 16x24
Colour: Champagne
Pattern: Random w/ soldier Course

Seed Mix List

CVC 6 - Early Succession Wet Meadow Mix*

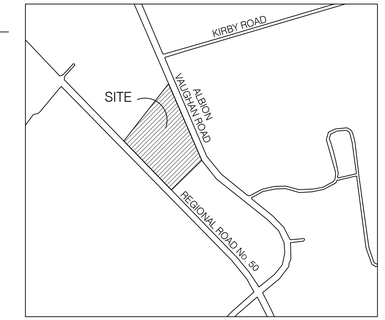
Common Name	Scientific Name	%t of Mix
Bebb's Sedge	*Carex bebbii*	5%
Purple Stemmed Aster	*Aster puniceus*	1%
Fowl Bluegrass	*Poa palustris*	25%
Fox Sedge	*Carex vulpinoidea*	25%
Great Blue Lobelia	*Lobelia siphilitica*	1%
New England Aster	*Aster novae-angliae*	1%
Path Rush	*Juncus tenuis*	3%
Canada Goldenrod	*Solidago canadensis*	2%
Soft Rush	*Juncus effusus*	5%
Stalk-grain Sedge	*Carex stipata*	4%
Tall Manna Grass	*Glyceria grandis*	2%
Virginia Wild Rye	*Elymus virginicus*	25%
Wild Bergamot	*Monarda fistulosa*	1%

*Note: Developed by OSC (Ontario Seed Company)
**Mixture conforms to the TRCA Native Seed Mix Guidelines

L1-03

Legend

- Existing Tree to Remain
- Tree Protection Fence
- Property Line
- 10m Setback from Proposed Floodline
- Proposed Floodline
- Channel Re-Alignment
- Prop. Ornamental Metal Fence Typ.
- Prop. Chainlink Fence Typ.
- Ex. Chainlink Fence
- Prop. Wood Privacy Fence
- Extent of U/G Parking
- Building Canopy Above
- Proposed Deciduous Tree
- Proposed Coniferous Tree
- Proposed Shrub/Perennial
- Prop. Sodded Area Typ.
- Prop. Concrete Paving Typ.
- Prop. Unit Paving
- Naturalization Seed Mix
- Proposed Planting Area



Key Map

Watering Note

- The contractor shall be fully responsible to ensure that adequate water is provided to all plants from the point of installation until the date of acceptance. The contractor shall adjust the automatic irrigation system, if available, and shall apply additional water, using hoses as required (refer to the site plan and mechanical plans for watering connections and hose bibs).
- During the initial establishment period, and particularly immediately after installation do not rely on the irrigation system to water the plants. Plants will uptake water only within the root ball and a short distance outside the ball. It is possible to over water the soil while under watering the root ball with the irrigation system.
- Hand water root balls of all plants and the soil immediately around the root ball to assure that the root balls have adequate moisture. Test the moisture content in each root ball to determine the water content. maintain root ball moisture and soil beyond the root ball moisture between 10 and 20% as measured using a general digital moisture meter. do not over water the soil around the plants. Use "tree gator bags" to assist in watering trees.

Proposed Plant Material List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
AGI	2	Acer ginnala	Amur Maple (Clump)	60 mm		B.&B.	High	No	Tree Form Multi Stem
AXF	2	Acer x freemanii 'Jeffersred'	Jeffersred Freeman Maple	70 mm		B.&B.	High	Hybrid	Full Form
CAO	6	Carya ovata	Shagbark Hickory	70 mm		B.&B.	High	Yes	Full Form
CBE	1	Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	70 mm		B.&B.	High	Yes	Full Form
FSY	7	Fagus sylvatica 'Fastigiata'	Columnar Beech	70 mm		B.&B.	High	Yes	Full Form
GSK	10	Gleditsia triacanthos 'Skyline'	Skyline Honey-Locust	70 mm		B.&B.	High	Yes	Full Form
GSS	1	Gleditsia triacanthos var. inermis 'Draves'	Street Keeper Honey-Locust (Clump)	60 mm		B.&B.	High	Cultivar	Tree Form Multi Stem
QRB	6	Quercus rubra	Red Oak	70 mm		B.&B.	Med.	Yes	Full Form
TAR	10	Tilia Americana 'Redmond'	Redmond Basswood	70 mm		B.&B.	High	Yes	Full Form
CONIFEROUS TREES									
PSB	4	Pinus strobus	White Pine	200 cm		B.&B.	High	Yes	Full Form
SPECIMEN MULTISTEM DECIDUOUS SHRUBS									
ACB	6	Amelanchier canadensis 'Ballerina'	Ballerina Serviceberry	200 cm		B.&B.	High	Yes	Multi Stem
CAL	11	Cornus alternifolia	Pagoda Dogwood	150 cm		B.&B.	High	Yes	Multi Stem
CCA	4	Cercis canadensis	Eastern Red Bud	180 cm	pink/pur	B.&B.	High	Yes	Tree Form
CONIFEROUS SHRUBS									
TCF	140	Taxus x media 'Fairview'	Fairview Yew		65 cm	C.G.	Med.	No	Full Form
TMH	168	Taxus media 'Hillii'	Hill's Yew	70 cm		C.G.	High	Yes	Full Form
TOB	10	Thuja occidentalis 'Brandon'	Brandon Cedar	180 cm		B.&B.	High	Yes	Full Form
DECIDUOUS SHRUBS									
CNR	132	Cornus racemosa	Gray Dogwood	80 cm		C.G.	High	Yes	Full Form
CNS	196	Cornus sericea 'Farrow'	Arctic Fire Dogwood	60 cm		C.G.	High	Yes	Full Form
HPB	124	Hydrangea paniculata 'Bombshell'	Dwarf Bombshell Hydrangea	60 cm		5 gal.	High	No	Full Form
POD	58	Physocarpus opulifolius 'Diablo'	Diablo Purpleleaf Ninebark	80 cm		C.G.	High	Yes	Full Form
RHG	157	Rhus aromatica 'Gro-Low'	'Gro-Low' Fragrant Sumac	60 cm		C.G.	High	Yes	Full Form
SJL	183	Spirea japonica 'Little Princess'	Dwarf Red Spirea	60 cm		C.G.	High	No	Full Form
SMP	48	Syringa meyeri 'Palibin'	Purple Dwarf Korean Lilac	60 cm		C.G.	High	No	Full Form
VTC	223	Viburnum trilobum 'Compactum'	Compact High Bush-Cranberry	70 cm		C.G.	High	Yes	Full Form
GRASSES									
AGN	89	Andropegen gerardii 'New Wave'	New Wave Big Bluestem			5 Gal.	High	Yes	Full Form
CAC	123	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass			5 Gal.	High	No	Full Form
DEC	91	Deschampia cespitosa	Tufted Hairgrass			2 Gal.	High	Yes	Full Form
PAL	58	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass			2 Gal.	High	No	Full Form
PERENNIALS									
GER	195	Geranium 'Rozanne'	Hardy Cranesbill Geranium			2 Gal.	High	Yes	Full Form
HSD	167	Hemerocallis 'Stella D'oro'	Stella D'oro (Yellow) Daylilies			2 Gal.	High	No	Full Form
HSE	27	Hosta sieboldiana elegans (Blue)	Elegans Large Blue Leaf Hosta		shade	2 Gal.	High	Yes	Large Leaf
PAT	93	Perovskia atriplicifolia	Russian Sage			2 Gal.	High	No	Full Form
PLS	163	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage			2 Gal.	High	No	Full Form
RUD	138	Rudbeckia fulgida var. sullivantii 'Goldsturm'	Black Eyed Susan			2 Gal.	High	Cultivar	Full Form

Proposed Plant Material List - Naturalization Area

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	DROUGHT TOLERANT	NATIVE	REMARKS
DECIDUOUS TREES									
ASC	12	Acer saccharum	Sugar Maple	60 mm		B.&B.	High	Yes	Full Form
CONIFEROUS TREES									
PSB	10	Pinus strobus	White Pine	180 cm		B.&B.	High	Yes	Full Form
DEC. TREE - WHIPS									
ASA	50	Acer saccharinum	Silver Maple	120 cm		4 Gal.	High	Yes	Full Form
BPA	50	Betula papyrifera	Paper Birch	120 cm		4 Gal.	High	Yes	Full Form
CEH	45	Celtis occidentalis	Hackberry	120 cm		4 Gal.	High	Yes	Full Form
LLA	40	Larix laricina	Tamarack Larch	120 cm		4 Gal.	High	Yes	Full Form
PDC	50	Populus deltoides	Eastern Cottonwood	120 cm		4 Gal.	High	Yes	Full Form
ULM	45	Ulmus americana	Elm	120 cm		4 Gal.	High	Yes	Full Form
LIVE STAKES									
CAL	50	Cornus alternifolia	Pagoda Dogwood	100 cm		Live Stake	High	Yes	Full Form
CNS	40	Cornus sericea	Red Osier Dogwood	100 cm		Live Stake	High	Yes	Full Form
SCA	15	Sambucus canadensis	Elderberry	100 cm		Live Stake	High	Yes	Full Form
SAE	60	Salix exigua	Narrowleaf Willow	100 cm		Live Stake	High	Yes	Full Form
SAB	60	Salix bebbiana	Bebb's Willow	100 cm		Live Stake	High	Yes	Full Form
DEC. SHRUBS									
ALR	100	Alnus rugosa	Speckled Alder			2 Gal.	High	Yes	Full Form
CNS	100	Cornus sericea	Red Osier Dogwood			2 Gal.	High	Yes	Full Form
PRC	50	Prunus virginiana	Chokecherry			2 Gal.	High	Yes	Multi Stem
RHT	50	Rhus typhina	Staghorn Sumac			2 Gal.	High	Yes	Full Form

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416-806-7000
FCORTESE@FCARCHITECTS.CA

Municipality:
THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

SNOW STORAGE: ADDITIONAL SNOW THAT CANNOT BE RETAINED ON SITE IS TO BE TRUCKED OFF-SITE

PLANT REFERENCE LIST NOTE:
ALL QUANTITIES IN THE LIST OF PLANT MATERIALS ARE TO BE CHECKED BY THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT. THE QUANTITIES INDICATED ON THE DRAWINGS SUPERCEDE THE TOTAL QUANTITIES

No.	Revision	Date
10	Issued for Final OPA/ZBA Sub	11/18/24
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North:

Stamp:
ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **1:400** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Master Plan

Project No. **20175**
Sheet No. **L1-01**

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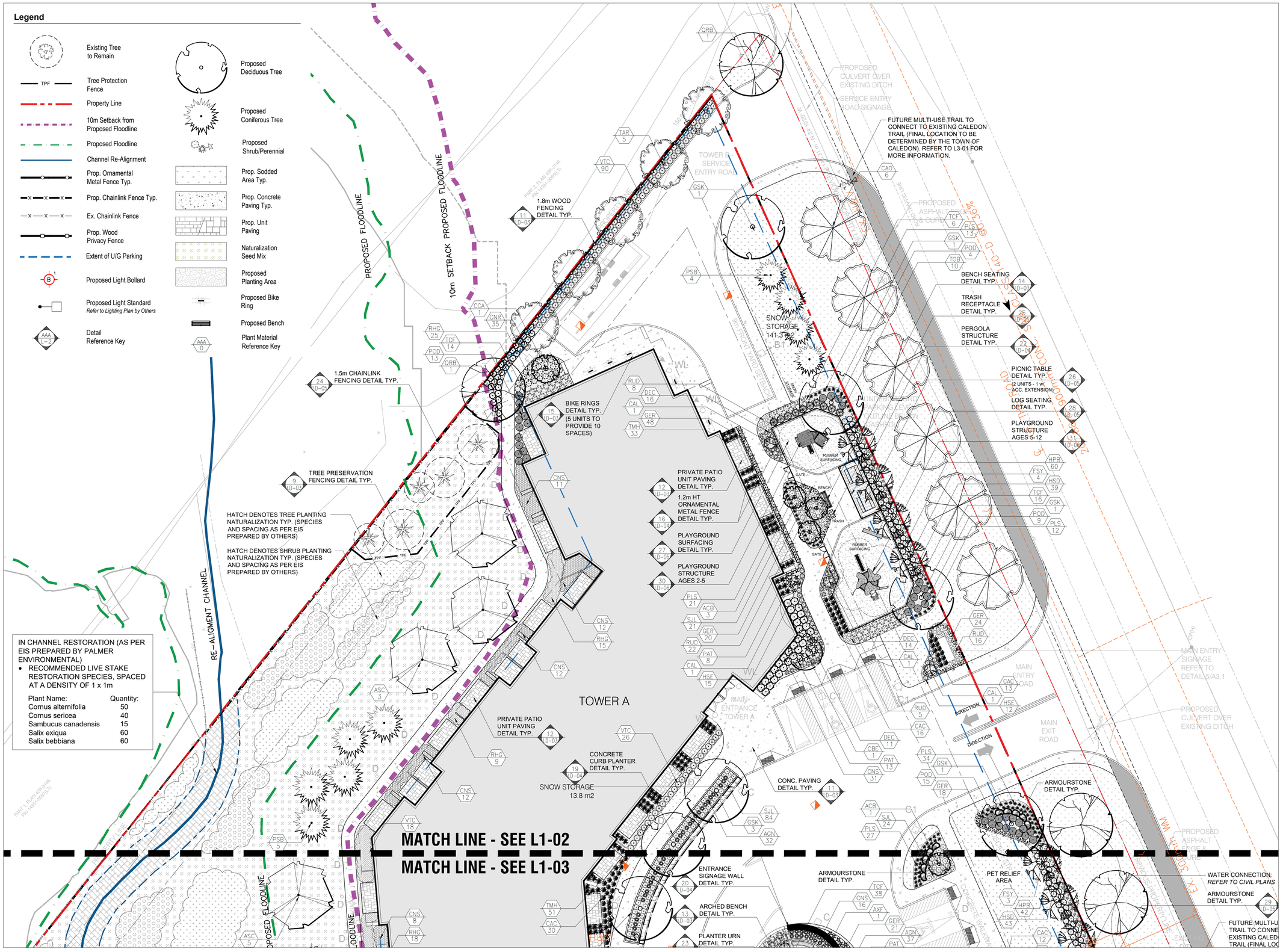
SIGNED DATE

Legend

- Existing Tree to Remain
- Tree Protection Fence
- Property Line
- 10m Setback from Proposed Floodline
- Proposed Floodline
- Channel Re-Alignment
- Prop. Ornamental Metal Fence Typ.
- Prop. Chainlink Fence Typ.
- Ex. Chainlink Fence
- Prop. Wood Privacy Fence
- Extent of U/G Parking
- Proposed Light Bollard
- Proposed Light Standard *Refer to Lighting Plan by Others*
- Detail Reference Key
- Proposed Deciduous Tree
- Proposed Coniferous Tree
- Proposed Shrub/Perennial
- Prop. Sodded Area Typ.
- Prop. Concrete Paving Typ.
- Prop. Unit Paving
- Naturalization Seed Mix
- Proposed Planting Area
- Proposed Bike Ring
- Proposed Bench
- Plant Material Reference Key



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North: Stamp: ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS MEMBER OALA

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **1:200** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Plan North Enlargement

Project No. **20175** Sheet No. **L1-02**

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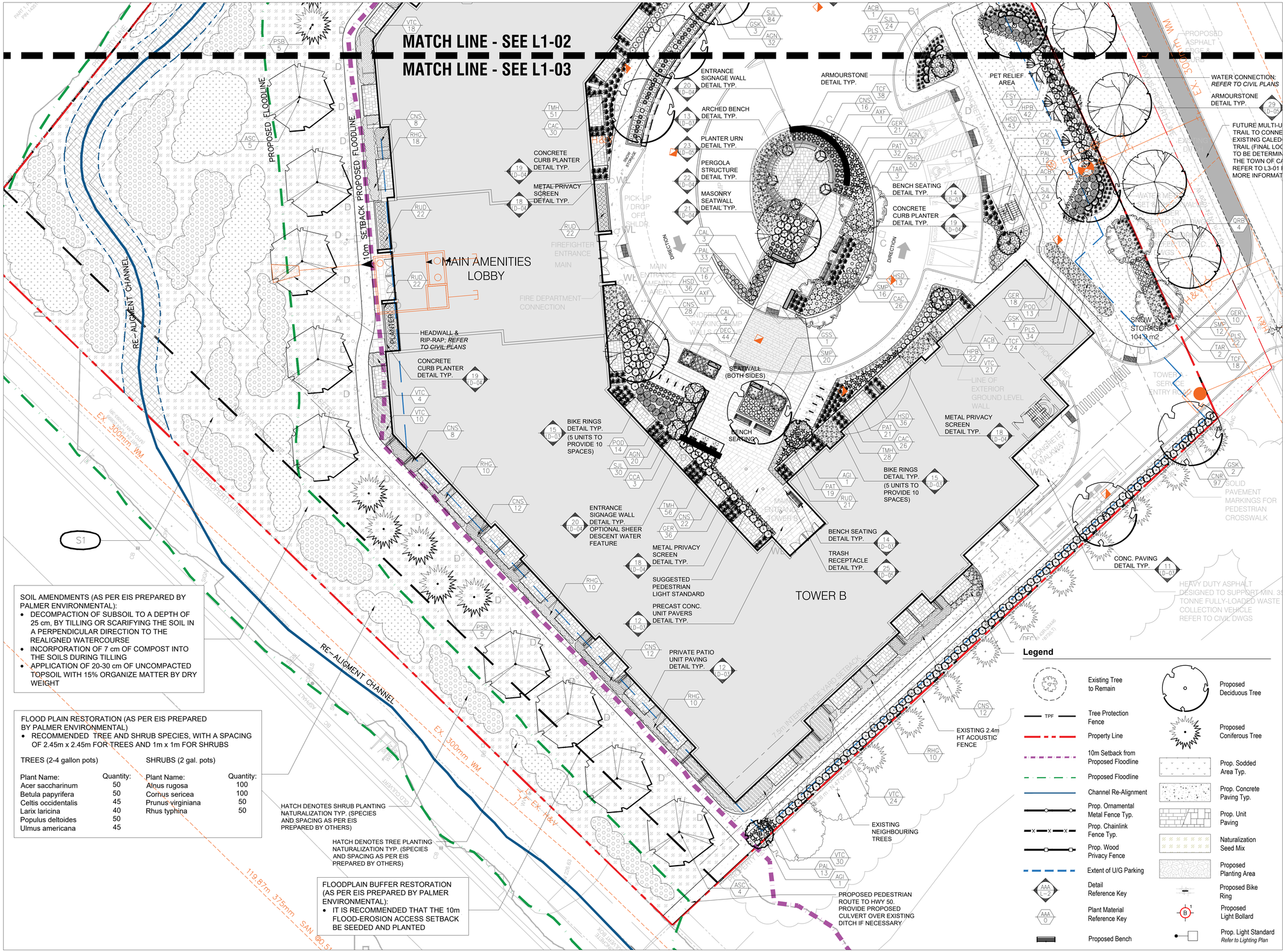

SOIL AMENDMENTS (AS PER EIS PREPARED BY PALMER ENVIRONMENTAL):

- DECOMPACTION OF SUBSOIL TO A DEPTH OF 25 cm, BY TILLING OR SCARIFYING THE SOIL IN A PERPENDICULAR DIRECTION TO THE REALIGNED WATERCOURSE
- INCORPORATION OF 7 cm OF COMPOST INTO THE SOILS DURING TILLING
- APPLICATION OF 20-30 cm OF UNCOMPACTED TOPSOIL WITH 15% ORGANIZE MATTER BY DRY WEIGHT

FLOOD PLAIN RESTORATION (AS PER EIS PREPARED BY PALMER ENVIRONMENTAL)

- RECOMMENDED TREE AND SHRUB SPECIES, WITH A SPACING OF 2.45m x 2.45m FOR TREES AND 1m x 1m FOR SHRUBS

TREES (2-4 gallon pots)

Plant Name:	Quantity:
Acer saccharinum	50
Betula papyrifera	50
Celtis occidentalis	45
Larix laricina	40
Populus deltoides	50
Ulmus americana	45

SHRUBS (2 gal. pots)

Plant Name:	Quantity:
Alnus rugosa	100
Cornus sericea	100
Prunus virginiana	50
Rhus typhina	50

HATCH DENOTES SHRUB PLANTING NATURALIZATION TYP. (SPECIES AND SPACING AS PER EIS PREPARED BY OTHERS)

HATCH DENOTES TREE PLANTING NATURALIZATION TYP. (SPECIES AND SPACING AS PER EIS PREPARED BY OTHERS)

FLOODPLAIN BUFFER RESTORATION (AS PER EIS PREPARED BY PALMER ENVIRONMENTAL):

- IT IS RECOMMENDED THAT THE 10m FLOOD-EROSION ACCESS SETBACK BE SEEDED AND PLANTED

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Stamp:
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Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **1:200** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Plan South Enlargement

Project No. **20175**
Sheet No. **L1-03**

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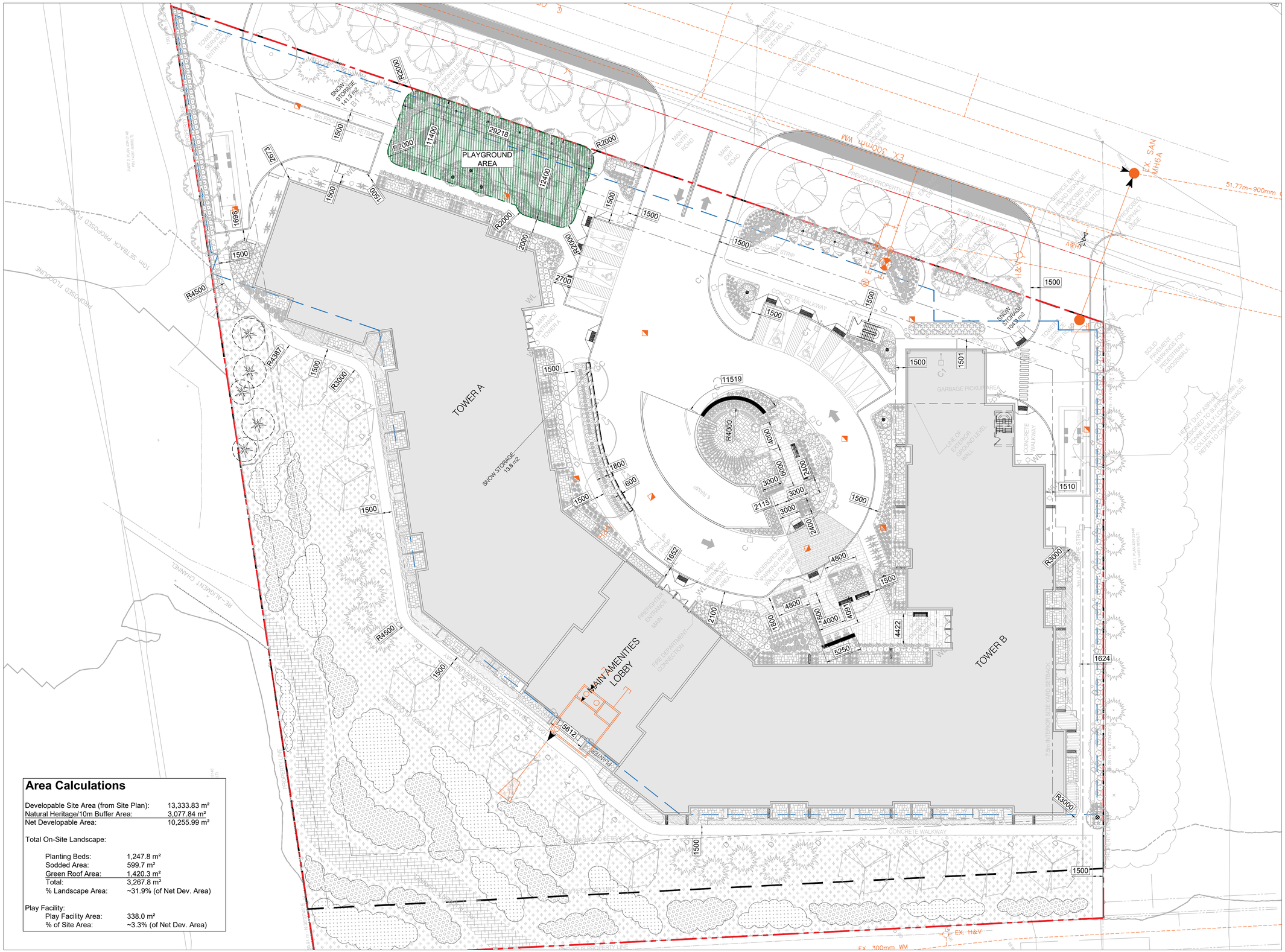
DO NOT SCALE DRAWINGS ◆ PRELIMINARY NOT FOR CONSTRUCTION ◆ THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT ◆ SIGNED ____ DATE ____



Area Calculations

Developable Site Area (from Site Plan):	13,333.83 m²
Natural Heritage/10m Buffer Area:	3,077.84 m²
Net Developable Area:	10,255.99 m²

Total On-Site Landscape:

Planting Beds:	1,247.8 m²
Sodded Area:	599.7 m²
Green Roof Area:	1,420.3 m²
Total:	3,267.8 m²
% Landscape Area:	~31.9% (of Net Dev. Area)

Play Facility:

Play Facility Area:	338.0 m²
% of Site Area:	~3.3% (of Net Dev. Area)

msla
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170 The Donway W Suite 206.
Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 | email. info@msla.ca

Architect:
FCA
FAUSTO CORTESE ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

Municipality:
THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

No.	Revision	Date
10	Issued for Final OPA/ZBA Sub	11/18/24
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02	Issued for Review	12/15/20
01	Issued for Review	11/19/20

North:

Stamp: ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **1:400** Date: **Nov. 2020**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Layout Plan

Project No. **20175** Sheet No. **L2-01**

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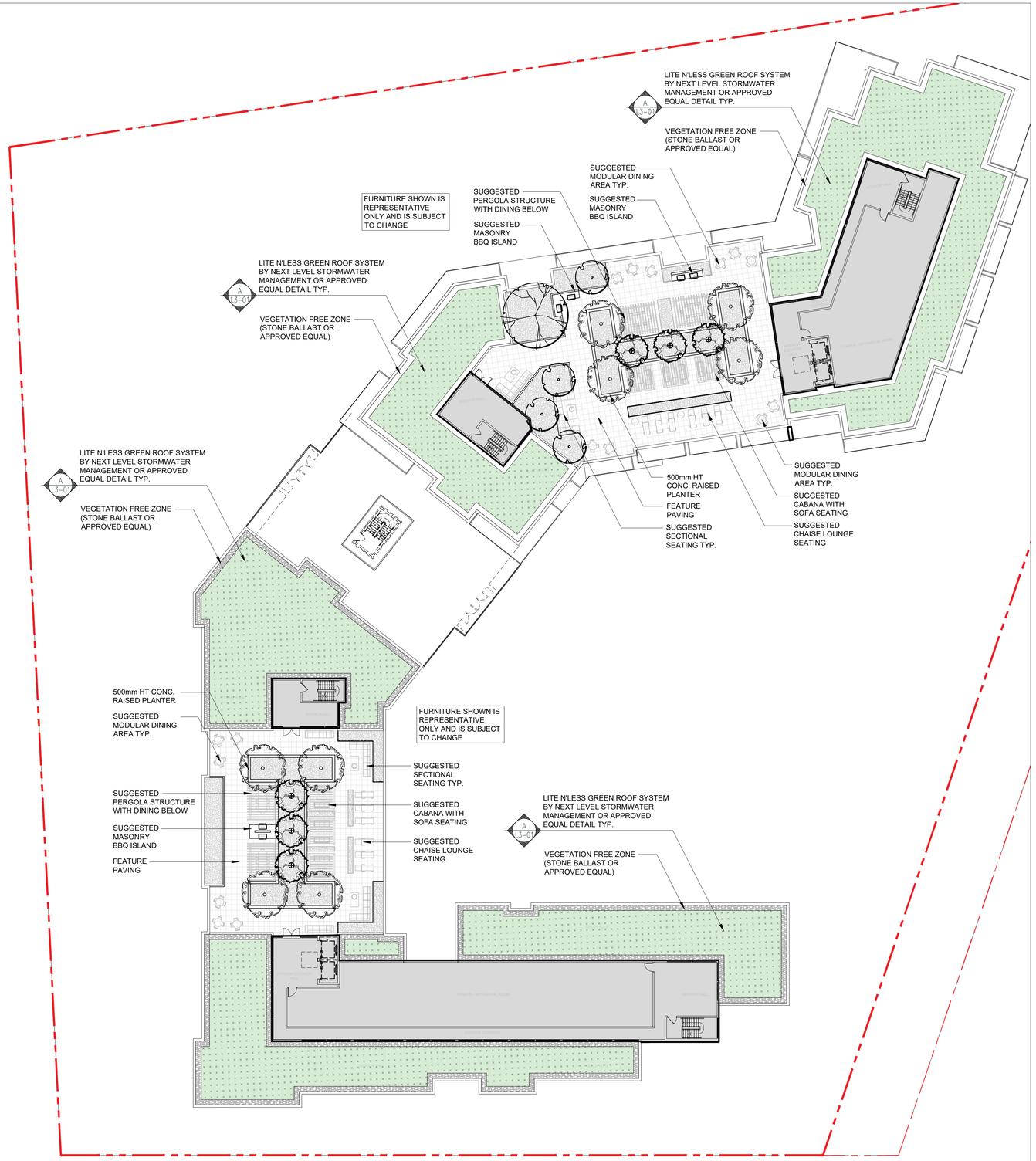
DO NOT SCALE DRAWINGS • PRELIMINARY NOT FOR CONSTRUCTION • THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT •
SIGNED DATE



Legend

- Property Line
- Prop. Green Roof
- Vegetation Free Zone
- Prop. Unit Paving
- Planting Area Typ.
- Proposed Small Tree
- Detail Reference Key (AAA / L-2)

Next Level™ STORMWATER MANAGEMENT

NL718 Sedum Blanket

Product Data Sheet

Product Description

The NL718 Sedum Blanket consists of a carrier made up of a filter fabric on one side and a polymer loop network on the other. The carrier is offset by 100mm, to create an overlap on both sides of the roll. Engineered growing medium and specially selected seeds and cuttings are then distributed evenly over the three-dimensional polymer coil loop network, to establish the pre-cultivated vegetation mat. NL718 Sedum Blankets are guaranteed to have a minimum of 80% vegetation coverage at the time of shipping.

Technical Data	
• Thickness (mm)	20.0
• Dry weight (kg/m²)	17.2
• Saturated weight (kg/m²)	29.7
• Stormwater retention (L/m²)	12.5
Packaging Properties	
• Length (m)	2.0
• Width (m)	1.1
• Area (m²)	2.0
• Diameter of rolled vegetation (m)	0.2
• Length of rolled vegetation (m)	1.1
• Sat. weight of rolled vegetation (kg)	59.4

Recommended Application

- Abut tightly all end and side seams.
- Start next row with a half roll so the end joints stagger between rows.
- Cut and fit to the edge of the non-vegetated border zone along the roof edge and around penetrations.
- Saturate sedum mats thoroughly.
- Sedum is a low traffic plant. Avoid damage by excessive walking and storing items on vegetation.

Plant list – Standard Mix

Sedum acre	Sedum kamtschaticum	Sedum spurium 'Coccineum'
Sedum album	Sedum pulchellum	Sedum stenopetalum
Sedum spurium 'Summer Glory'	Sedum reflexum (rupestre)	Sedum stoloniferum
Sedum floriferum	Sedum ellacombianum	Sedum sexangulare

*Plant list is subject to change based on availability of seeds/cuttings

The information contained herein is believed by Next Level Stormwater Management to be accurate and is offered solely for the customer's consideration, investigation and verification. Determination of suitability for use is the responsibility of the user. Next Level's limitations, limited warranty, disclaimer and standard terms & conditions apply.

Next Level Stormwater Management™ | 416 637 5772 | info@nlsm.ca | nlsm.ca

Suggested Plant Material List

KEY	QNTY	BOTANICAL NAME	COMMON NAME	HT/CAL	SPREAD	ROOT	REMARKS
DECIDUOUS MULTISTEM SPECIMENS							
ACB		Amelancier canadensis 'Ballerina'	Ballerina Serviceberry	200 cm		B.&B.	Multi Stem
CAL		Cornus alternifolia	Pagoda Dogwood	150 cm		B.&B.	Full Form
DECIDUOUS SHRUBS							
CNS		Cornus sericea	Red Osier Dogwood	70 cm		C.G.	Full Form
ORNAMENTAL GRASSES							
CAC		Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass			5 Gal.	Full Form
DEC		Deschampia cespitosa	Tufted Hairgrass			2 Gal.	Full Form
MSG		Miscanthus sinensis 'Gracillimus'	Maidengrass Ornamental Grass			5 Gal.	Full Form
PAL		Pennisetum alopecuroides 'Hameln'	Hamlin Dwarf Fountain Grass			2 Gal.	Full Form
PERENNIALS							
COR		Coreopsis grandiflorra 'Goldfink'	Coreopsis Dwarf Yellow			1 Gal.	Full Form
GER		Geranium 'Rozanne'	Hardy Cranesbill Geranium			1 Gal.	Full Form
HSD		Hemerocallis 'Stella D'oro'	Stella D'oro (Yellow) Daylilies			1 Gal.	Full Form
PAT		Perovskia atriplicifolia	Russian Sage			2 Gal.	Full Form

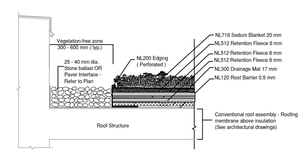
ALL QUANTITIES IN THE LIST OF PLANT MATERIALS ARE TO BE CHECKED BY THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT. THE QUANTITIES INDICATED ON THE DRAWINGS SUPERCEDE THE TOTAL QUANTITIES

REFER TO PLAN FOR LOCATION

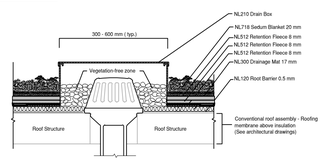
Next Level Stormwater Management
One Yonge St. Ste 1801
Toronto, ON. Canada M5E 1W7
T: 416.637.5772 F:416.352.1891
Email:info@nlsm.ca
www.nlsm.ca

Next Level™ STORMWATER MANAGEMENT

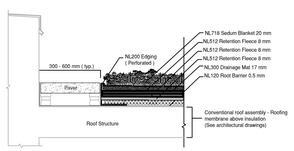
Conventional Roofing Assembly



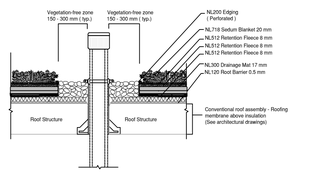
1 DET — LiteN'Less Classic III 718 w/ Edge Stone Edge Detail
Conventional Roofing Assembly



3 DET — LiteN'Less Classic III 718 w/ Edge Drain Detail
Conventional Roofing Assembly



2 DET — LiteN'Less Classic III 718 w/ Edge Paver Edge Detail
Conventional Roofing Assembly



4 DET — LiteN'Less Classic III 718 w/ Edge Penetration Detail
Conventional Roofing Assembly

GREEN ROOF SYSTEM: LITE N'LESS BY NLSM

SCALE: N.T.S. DATE:

A L3-01

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Municipality:
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North: Stamp: ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO — OALA MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **1:300** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Green Roof & Amenity Plan

Project No. **20175** Sheet No. **L3-01**

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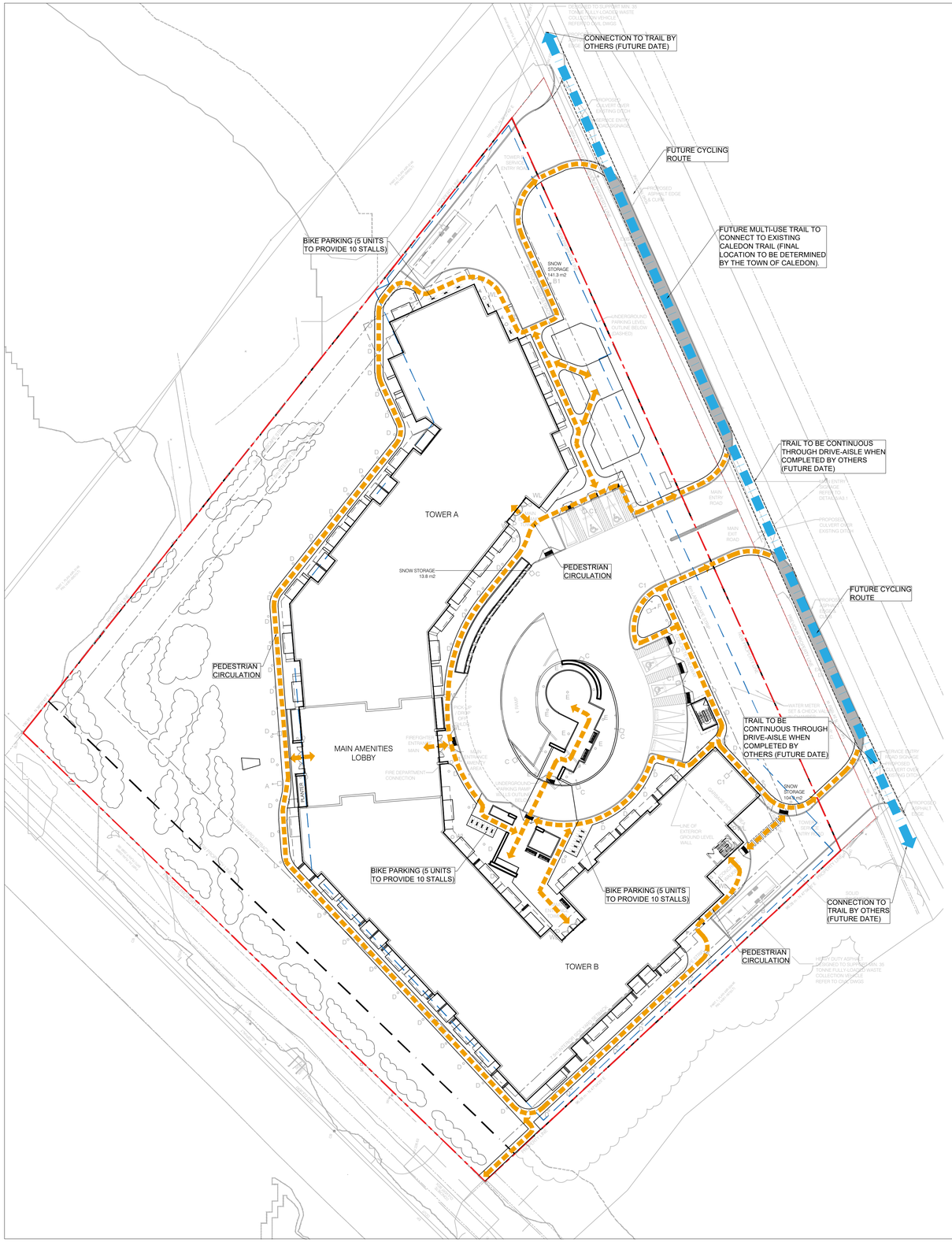
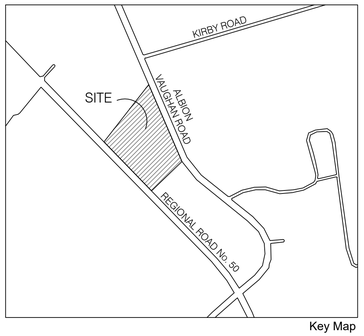


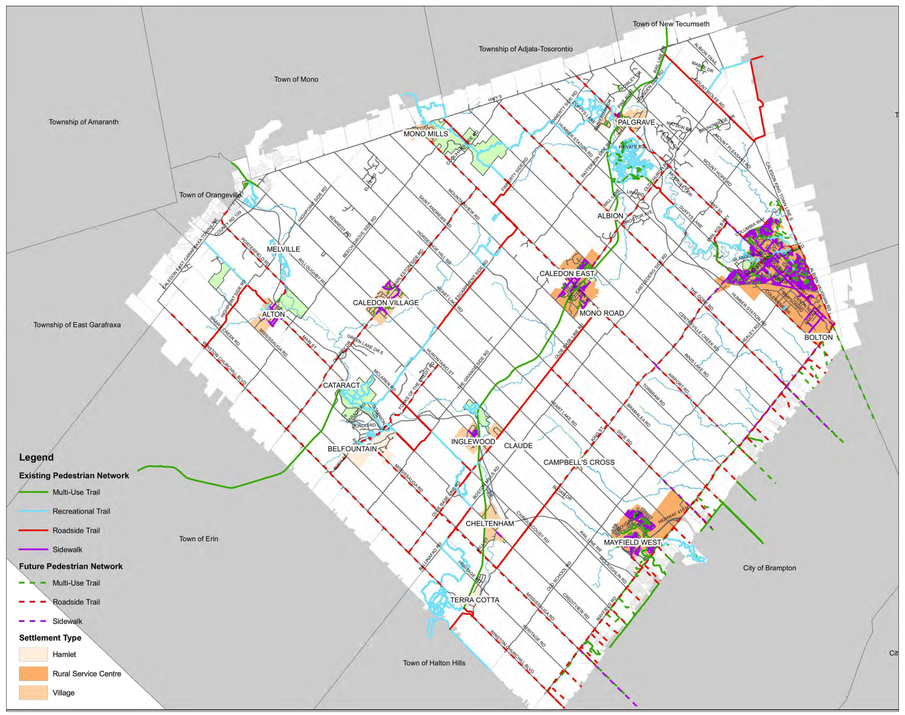


Key Map

Legend

- On-Site Pedestrian Circulation
- Cycling Circulation
- Bike Parking
- Property Line
- Prop. Sodded Area Typ.
- Prop. Concrete Paving Typ.
- Prop. Unit Paving
- Naturalization Seed Mix
- Proposed Planting Area

Caledon Trails Master Plan



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01	Issued for Review	11/19/20

North:

Stamp: ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO — OALA — MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **1:400** Date: **Nov. 2020**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Pedestrian and Trail Link Plan

Project No. **20175** Sheet No. **L4-01**

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General

1. These specifications are to be read in conjunction with the general conditions of the contract (contact the project owner or MSLA Landscape Architects).
2. Prior to commencing work, the contractor shall:
   a. Familiarize themselves with the plans, details and specifications of this project;
   b. Visit the site to ascertain and take account of existing conditions and any deviations from the plans in work by other; and,
   c. Finalize all design alternatives in consultation with the Landscape Architect.
3. Prior to excavating the contractor shall verify the location of all underground utilities. In the event of a conflict between a proposed tree location and an underground service, the exact location of the tree shall be determined on site by the Landscape Architect. The contractor shall, at his/her own expense, repair any damage to existing utilities, structures, facilities, etc. done in the performance of their work.

Soft Landscaping Plant Materials

4. All plants shall be installed true to specified names, sizes, grades, etc. and shall conform to the standards of the Canadian Nursery Landscapes Association.
5. All plants shall be nursery grown in a hardiness zone appropriate to site conditions, as published by Agriculture Canada, entitled 'Map of Plant Hardiness Zones in Canada'.
6. In the event of a discrepancy in plant quantity between the landscape plan and the plant list, the landscape plan shall govern.
7. The contractor shall make plants available for inspection by the Landscape Architect prior to shipping to the site. This does not limit the right of the Landscape Architect and/or Town's representative to later reject plant material that is of poor quality, damaged during shipping or installation, performing poorly while the guarantee period is still in effect, or otherwise does not conform to the specifications.
8. Plant substitutions must be approved in writing by the owner, the Landscape Architect and the Town prior to delivery of the material on-site. The Landscape Architect may, upon completion of the work and notwithstanding prior approval at source, reject plant material not conforming to the specifications
9. The contractor shall use standard industry methods for planting trees. Trees shall be turned to give the best appearance. They shall also be guyed and staked immediately after planting and as detailed on the drawings.

Bed Preparation

10. Prior to backfilling, scarify the sides and bottom of the excavated tree pits and shrub beds.
11. Where heavy clay soil conditions prevail, backfill to the specified depths with:
    a. 2 parts “Triple Mix” delivered to the site well-mixed with 1 part local topsoil (topsoil that was removed from the site and stockpiled; if unavailable, a topsoil with clay content must be imported)
12. Tree pits must be constructed with saucers and mulch as detailed.

Maintenance

13. Maintenance of all landscape installations throughout to include:
14. Proper irrigation to ensure optimum growth and development of installed plant material.
15. Cultivation, weeding and fertilization of the tree pits and planting beds.
16. Insect and disease control using 'Integrated Pest Management' practices.
17. Pruning and maintenance to further promote visibility and vitality of its intended use, as directed by the Landscape Architect or the Town.

Guarantee

18. All plant materials shall be guaranteed for a minimum of 1 year from date of written Landscape Certification for Commencement of Plant Warranty as granted by the Town, and until final certification is granted by the Town. Plants which do not survive satisfactorily during the guarantee period shall be replaced at no extra cost to the owner. Plant material which is replaced due to unsatisfactory performance shall, in turn, be guaranteed for another minimum of 1 year, or until final certification is granted by the Town.
19. Similarly, all other landscape work performed under this contract shall be fully guaranteed for the above specified period.
20. All work shall be inspected at the end of the warranty period, at which time a final certificate will be issued by the Landscape Architect and submitted to the Town for their inspection, and approval of final certification, permitting release of site work securities.
21. At the end of the guarantee period, the contractor shall remove all tree stakes, rodent guards and bark wrap and all extra mulch where necessary.

Acceptance

22. Work will be accepted by the owner or their representative upon completion and at the end of the specified maintenance period, provided that all plant material is alive and in healthy growing conditions.
23. Written preliminary and final certification must be submitted to the Town by the Landscape Architect. The Certifications shall be signed and stamped with the seal of the OALA.
24. Preliminary Certification of the project shall serve as the start of the guarantee period.
25. Final acceptance of the landscape works for this project is granted by the Town of Caledon upon conducting a satisfactory final site inspection

Continued Responsibility of the Owner

26. The owner has a responsibility to maintain the approved landscape in a well cared for manner that promotes plant vitality and healthy appearance. Any declining or dead plants are to be replaced within the season to sustain a kept landscape. The owner is reminded that future site plan applications for this site will be reviewed with regard to the conformity of the existing landscaping to the approved Landscape Plan registered with the Town of Caledon.

TOWN OF CALEDON - LANDSCAPE STANDARD NOTES

SCALE: N.T.S.

1 LD-01

A. GENERAL

i) These Specifications are to be read in conjunction with the General Conditions of the contract (contact the project owner or MSLA Landscape Architects).
ii) Prior to commencing work, the Contractor shall:
   a. Become familiar with the plans, details, and specifications of this project,
   b. Visit the site to ascertain and take account of existing conditions and any deviations from the plans in work by others, and
   c. Finalize all design alternatives in consultation with the Landscape Architect.
iii) Prior to excavating, the Contractor shall verify the location of all underground utilities. In the event of a conflict between a proposed tree location and an underground service, the exact location of the tree shall be determined on site by the Landscape Architect and/or the Town's representative.
iv) The Contractor shall, at his or her own expense, repair any damage to existing utilities, structures, facilities, etc. done in the performance of his work.
v) All site work shall conform to the *Canadian National Master Construction Specifications,* a copy of which can be obtained from Construction Specifications Canada, 100 Lombard St., Suite 200, Toronto, Ontario MSC 1M3; Tel. (416) 777-2198; Fax (416) 777-2197. It is the responsibility of the Contractor to be thoroughly familiar with these specifications and their implications for this project.

B. PLANT MATERIAL

i) All plants shall be installed true to specified names, sizes, grades, etc., and shall conform to the standards of the Canadian Nursery Landscapes Association.
ii) All plants shall be nursery grown in a hardiness zone appropriate to site conditions, as published by Agriculture Canada, titled 'Map of Plant Hardiness Zones in Canada'.
iii) In the event of a discrepancy in plant quantity between the Planting Plan and the Plant List, the Planting Plan shall govern.
iv) The Contractor shall make plants available for inspection by the Landscape Architect and/or the Town's representative prior to shipping to the site. This does not limit the right of the Landscape Architect and/or the Town's representative to later reject plant material that is of poor quality, damaged during shipping or installation, performing poorly while the guarantee period is still in effect, or otherwise does not conform to the specifications.
v) Plant substitutions must be approved in writing by the Town and the Landscape Architect prior to delivery of the material to the site.
vi) The Contractor shall use standard industry methods for planting trees and shrubs. Trees shall be turned to give the best appearance; they shall also be guyed or staked immediately after planting and as detailed on the drawings.

C. BED PREPARATION

i) The Contractor shall scarify the sides and bottom of excavated tree pits and shrub beds prior to backfilling. Due to the heavy clay soil in the Bolton area, tree and planting beds shall be backfilled to the specified depths with:
   a. 2 Parts "triple mix," delivered to the site, to be wellmixed with . . .
   b. 1 Part local topsoil (viz., subdivision topsoil that has been removed and stockpiled.) If topsoil is unavailable, topsoil with clay content shall be imported and mixed with triple mix.
ii) Tree pits shall be constructed with saucers and mulch as detailed.

D. TOPSOIL AND FINE GRADING

i) The Contractor shall place 100mm of rich topsoil on approved subgrades. Topsoil shall be imported when insufficient amounts are available on site.
ii) Minor grade deficiencies and irregularities shall be eliminated prior to seeding.

E. HYDROSEEDING

i) The Contractor shall apply 2280 kg/ha fibre mulch over the newly seeded area to form a uniform, blotter-like ground cover that allows the absorption and percolation of water.
ii) The area seeded in a single day shall not exceed the area that can be mulched that same day.
iii) The Contractor shall apply the specified seed mixture using accepted industry methods for hydroseeding and at rates recommended by the seed supplier. The type and rate of fertilizer application shall be as recommended in the topsoil test report for the particular area being seeded.

F. PRELIMINARY ACCEPTANCE

i) When landscaping is completed, the Landscape Architect shall submit a Certificate of Completion to the Town of Caledon certifying that all landscape works have been completed in accordance with the approved plans.
ii) Upon receipt of the Certificate of Completion, the Planning Department will conduct a preliminary inspection of the site and, provided that the works are in satisfactory condition, will grant preliminary acceptance of the landscaping.

G. GUARANTEE

i) All naturalized landscaping shall carry a guarantee/maintenance of THREE (3) years, commencing from the date that preliminary acceptance is granted by the Municipality. The Owner shall provide the Municipality with a copy of the maintenance agreement between the Owner and the Contractor. In each of the next three summers, the Landscape Architect shall conduct an inspection and prepare a report, recommending the replacements and/or works needed to achieve the intent of the approved landscape plan. The Landscape Architect shall file a copy of the report with the Municipality. Replacement plant material shall be guaranteed for a period of time determined by the Municipality.
ii) All other landscape work performed under this contract shall be fully guaranteed for TWO (2) years.

H. MAINTENANCE

ij) The maintenance of all landscape installations throughout the guarantee period shall include:
   a. applying appropriate fertilizer to promote growth,
   b. pruning dead or diseased tissue,
   c. removing dead plant material,
   d. replacing dead coniferous naturalization species to maintain a minimum live-stocking standard of 90%,
   e. replacing dead deciduous and shrub naturalization species to maintain a minimum live-stocking standard of 90%, and
   f. suppressing weed growth around newly planted trees and shrubs by adding more mulch and/or removing weeds by hand, *not* by cutting the weeds down with power trimmers.

I. CERTIFICATE OF ASSUMPTION

i) At the end of the guarantee period, the Contractor shall remove all tree stakes, rodent guards, and bark wrap, and shall add extra mulch where necessary.
ii) When these final tasks have been completed, all landscape work will be inspected by the Municipality and, if satisfied that all work has been completed in accordance with the approved landscape plans, will issue a Certificate of Assumption and release any outstanding funds.
1.

TOWN OF CALEDON - NATURALIZATION SPECIFICATIONS STANDARD NOTES

SCALE: N.T.S.

2 LD-01

msla
MARTON SMITH LANDSCAPE ARCHITECTS
170 The Donway W Suite 206.
Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 | email. info@msla.ca

Architect:

FCA
FAUSTO CORTESE ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@@FCARCHITECTS.CA

Municipality:

THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

No.	Revision	Date
10	Issued for Final OPA/ZBA Sub	11/18/24
09	Issued for 3rd Submission	06/13/24
08	Revised per Town Comments	04/11/24
07	Revised per Site Plan	03/15/24
06	Issued for Re-Submission	01/20/23
05	Issued for Coordination	12/08/22
04	Revised per Site Plan	11/18/22
03	Issued for Submission	12/22/20
02	Issued for Review	12/15/20
01	Issued for Review	11/19/20

North: Stamp:

ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS — OALA — MEMBER

Project:

Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **As Shown** Date: **Nov. 2020**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:

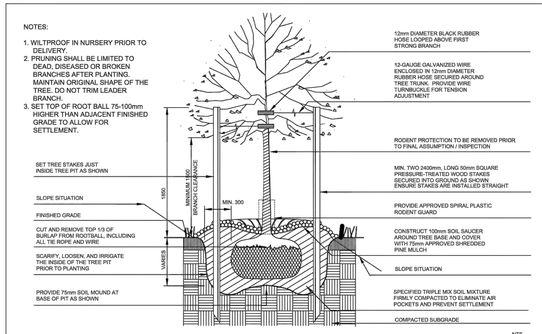
Landscape Notes

Project No. **20175** Sheet No. **LD-01**

All information contained in these plans shall be checked by the contractor. All discrepancies shall be reported to the Landscape Architect (L.A.) before commencing with construction. All drawings have copyright and shall remain the property of the Landscape Architect. Copying or any reproduction in part or whole shall only be permitted with written consent of L. A. Drawings shall not be used for construction unless sealed & SIGNED. All drainage patterns must clear positively away from buildings on structures at 2% min. The position of existing above ground and underground utilities and facilities are not necessarily shown in the drawings, and where shown, the accuracy of the position of utilities or facilities is not guaranteed. Before starting work, the contractor shall confirm the exact location of all existing utilities and facilities, and shall assume liability for damages. ● ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ALL APPLICABLE LAWS, AND ALL RELEVANT STANDARDS. ● DO NOT SCALE DRAWINGS ● PRELIMINARY NOT FOR CONSTRUCTION ● THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT ● SIGNED: _____ DATE: _____

REFER TO PLAN FOR LOCATION MSLA

NOTES:
1. WILTPROOF IN NURSERY PRIOR TO DELIVERY.
2. PRUNING SHALL BE LIMITED TO DEAD, DISEASED OR BROKEN BRANCHES AFTER PLANTING. MAINTAIN ORIGINAL SHAPE OF THE TREE. DO NOT TRIM LEADER BRANCH.
3. SET TOP OF ROOT BALL 75-100mm HIGHER THAN ADJACENT FINISHED GRADE TO ALLOW FOR SETTLEMENT.



NTS

TOWN OF CALEDON						
DECIDUOUS TREE PLANTING					APR'D: B.B.	DATE: JUNE 08
	2	STANDARD No. 700 NOW 800		JAN 18	DRAWN: abal	SCALE: NTS
	1	STANDARD No. 1100 NOW 700		JUNE 08		
	NO.	REVISION	APR'D	DATE	STANDARD No. 800	

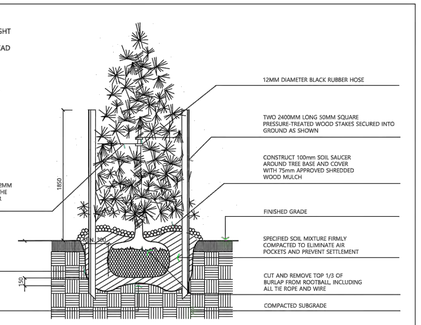
DECIDUOUS TREE PLANTING DETAIL

3 LD-02

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION MSLA

NOTES:
1. TREE SHALL BE MEASURED TO HEIGHT OF LAST YEAR'S GROWTH.
2. PRUNING SHALL BE LIMITED TO DEAD OR BROKEN BRANCHES AFTER PLANTING. MAINTAIN ORIGINAL SHAPE OF TREE. DO NOT TRIM LEADER BRANCH.
3. SET TREE 75-100mm HIGHER THAN ADJACENT FINISHED GRADE TO ALLOW FOR SETTLEMENT.



TOWN OF CALEDON						
CONIFEROUS TREE PLANTING					APR'D: C.C.	DATE: JUNE 08
	2	STANDARD No. 701 NOW 801		APR 19	DRAWN: ABAL	SCALE: NTS
	1	STANDARD No. 1105 NOW 701		JUNE 08		
	NO.	REVISION	APR'D	DATE	STANDARD No. 801	

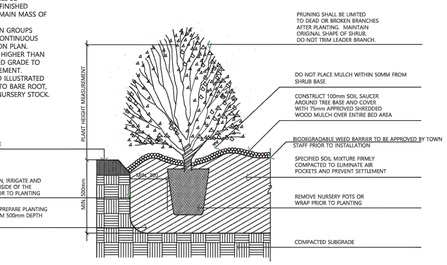
CONIFEROUS TREE PLANTING DETAIL

4 LD-02

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION MSLA

NOTES:
1. SHRUB HEIGHT SHALL BE MEASURED FROM FINISHED GRADE TO UPPER MAIN MASS OF SHRUB BRANCHES.
2. SHRUBS PLANTED IN GROUPS SHALL BE SET IN CONTINUOUS BEDS AS SHOWN ON PLAN.
3. SET SHRUBS 50mm HIGHER THAN ADJACENT FINISHED GRADE TO ALLOW FOR SETTLEMENT.
4. PLANTING METHOD ILLUSTRATED APPLIES EQUALLY TO BARE ROOT, POTTED, OR B&B NURSERY STOCK.



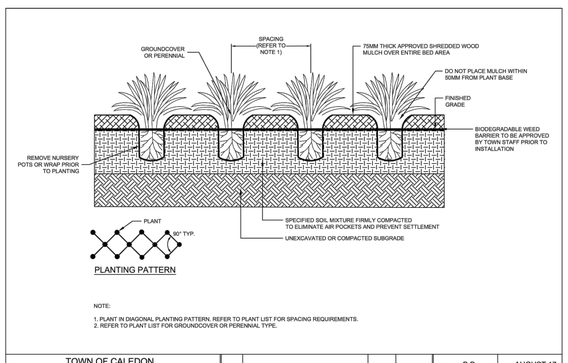
TOWN OF CALEDON						
SHRUB PLANTING					APR'D: C.C.	DATE: JUNE 08
	3	STANDARD No. 702 NOW 802		APR 19	DRAWN: abal	SCALE: NTS
	2	STANDARD No. 1110 NOW 702		JUNE 08		
	1	WEED BARRIER ADDED		MARCH 08		
	NO.	REVISION	APR'D	DATE	STANDARD No. 802	

SHRUB PLANTING DETAIL

5 LD-02

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION MSLA



NOTE:
1. PLANT IN DIAGONAL PLANTING PATTERN. REFER TO PLANT LIST FOR SPACING REQUIREMENTS.
2. REFER TO PLANT LIST FOR GROUNDCOVER OR PERENNIAL TYPE.

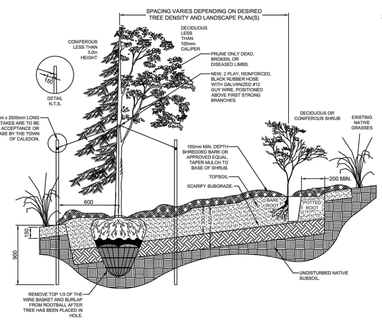
TOWN OF CALEDON						
GROUNDCOVER AND PERENNIAL PLANTING DETAIL					APR'D: B.B.	DATE: AUGUST 17
					DRAWN: B.M.	SCALE: N.T.S.
	NO.	REVISION	APR'D	DATE	STANDARD No. 803	

GROUNDCOVER AND PERENNIAL PLANTING DETAIL

6 LD-02

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION MSLA



NOTES:
1. ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO TOWN OF CALEDON STANDARDS No. 800, 801, 802, 803.
2. PRUNE ONLY DEAD, BROKEN OR DISEASED BRANCHES TO MAINTAIN PROPER FORM OF PLANT MATERIAL.
3. ALL TREE STAKES TO MAINTAIN MINIMUM 1.0m CLEARANCE FROM ALL POWER, TELEPHONE AND GAS ALIGNMENTS.
4. IF MINIMUM UTILITY SETBACKS CANNOT BE MAINTAIN TREE STAKES INTO DIRECTION OF PREVAILING WINDS OR IF IN BOULEVARD THAT STAKES SHOULD BE IN LINE WITH THE DIRECTION OF TRAFFIC.
5. DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO POWER, TELEPHONE AND GAS ALIGNMENTS
6. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.
7. DO NOT PLACE MULCH WITHIN 50mm FROM SHRUB BASE.
8. PRUNE ALL DEAD OR DAMAGED ROOTS AND BRANCHES.
9. MINIMUM SHRUB SIZE AT PLANTING TO BE 600mm HEIGHT AND SPREAD.
10. ALL PLANT MATERIAL SHALL MEET THE HORTICULTURAL STANDARDS AND PRACTICES OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.
11. SPACING VARY DEPENDING ON SHRUB SIZE.

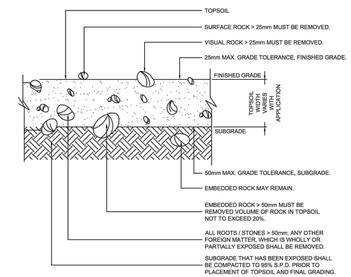
TOWN OF CALEDON						
TREE AND SHRUB NATURALIZATION					APR'D: B.B.	DATE: AUGUST 17
					DRAWN: B.M.	SCALE: N.T.S.
	NO.	REVISION	APR'D	DATE	STANDARD No. 804	

TREE AND SHRUB NATURALIZATION

7 LD-02

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION MSLA



NOTES:
1. 300mm MIN. DEPTH TOPSOIL FOR SEEDED AREAS.
2. 300mm MIN. DEPTH TOPSOIL FOR SODDED AREAS.
3. 600mm MIN. DEPTH TOPSOIL FOR SHRUB AND TREE BEDS.
4. DEVELOPER TO PROVIDE ORIGINAL SOIL ANALYSIS AND AMENDED SOIL ANALYSIS TO PARKS DEPARTMENT FOR APPROVAL PRIOR TO INSTALLATION.

TOWN OF CALEDON						
TOPSOIL / SUBGRADE PREPARATION DETAIL					APR'D: B.B.	DATE: JULY 17
					DRAWN: B.M.	SCALE: N.T.S.
	NO.	REVISION	APR'D	DATE	STANDARD No. 805	

TOPSOIL / SUBGRADE PREPARATION DETAIL

8 LD-02

SCALE: N.T.S. DATE:

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01	Issued for Review	11/19/20

North: Stamp: ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO, CANADA MEMBER OALA

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **As Shown** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Details

Project No. **20175** Sheet No. **LD-02**

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DO NOT SCALE DRAWINGS • PRELIMINARY NOT FOR CONSTRUCTION • THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT • SIGNED DATE

MARTON SMITH LANDSCAPE ARCHITECTS
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tel. 416.492.9966 | email. info@msla.ca

Architect:

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3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@@FCARCHITECTS.CA

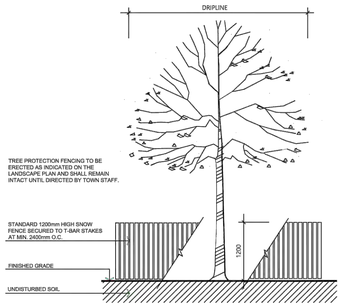
Municipality:

THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

REFER TO PLAN FOR LOCATION



SPECIFICATIONS FOR THE PROTECTION AND PRESERVATION OF EXISTING VEGETATION:

1. PRIOR TO ISSUANCE OF THE GRADING AND SERVICING OR BUILDING PERMIT, ALL EXISTING TREES THAT ARE TO BE PRESERVED SHALL BE FULLY PROTECTED WITH HOARDING (IE SNOW FENCING) OUTSIDE THEIR 'DRIPLINES', OR AS DIRECTED THROUGH ADDITIONAL GOVERNING DOCUMENTS TO THE SATISFACTION OF THE TOWN.
2. GROUPS OF TREES AND OTHER EXISTING PLANTINGS TO BE PROTECTED SHALL BE TREATED IN A LIKE MANNER WITH HOARDING AROUND THE ENTIRE CLUMP(S).
3. TREE PRESERVATION FENCE IS TO BE INSPECTED BY THE TOWN'S ARBORIST OR LANDSCAPE ARCHITECT AND APPROVED BY THE TOWN PRIOR TO CONSTRUCTION COMMENCING.
4. SILTATION CONTROL FENCING MAY BE USED AS A TREE PRESERVATION FENCING SUBSTITUTE IF REQUIRED BY ENGINEERING AT THE DISCRETION OF THE TOWN.
5. AREAS WITHIN PROTECTIVE FENCING SHALL REMAIN UNDISTURBED AND SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS OR EQUIPMENT. NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST. NO GARBAGE OR BUILDING MATERIALS ARE TO BE PLACED ON OR AGAINST THE TREE PRESERVATION FENCE.
6. PRUNE BRANCHES TO REMOVE DAMAGED LIMBS ONLY. DO NOT PRUNE TO MAKE THE TREE SYMMETRICAL. PRUNE IN ACCORDANCE WITH APPROPRIATE HORTICULTURAL PRACTICES AS APPROVED BY THE TOWN. NO MORE THAN 20% OF THE TREE SHALL BE PRUNED UNLESS DIRECTED BY THE TOWN.
7. CUTTING OF ROOTS OR CHANGING OF GRADES AROUND EXISTING TREES TO BE PRESERVED WILL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE PUBLIC WORKS AND ENGINEERING DEPARTMENT.
8. IF TREES ARE BEING ADVERSELY AFFECTED BY CONSTRUCTION, A WATERING AND FERTILIZING PROGRAM IS TO BE SET UP TO THE SATISFACTION OF THE TOWN.
9. ANY TREES WITHIN THE TREE PRESERVATION FENCE THAT HAVE BEEN DAMAGED BEYOND REPAIR PRIOR DURING OR POST CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH TREES OF A SIZE AND SPECIES APPROVED BY THE TOWN, AT THE SOLE COST OF THE DEVELOPER.

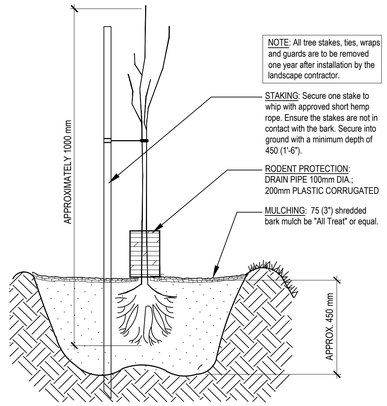
TOWN OF CALEDON	NO.	REVISION	APR'D	DATE		
	3	STANDARD 707 NOW 606		JAN 18	APR'D: C.C.	DATE: JUNE 08
TREE PRESERVATION	2	STANDARD No. 1135 NOW 707, NOTES EDIT		JUNE 08	DRAWN: abal	SCALE: NTS
	1	NOTE NO. 9 ADDED		MARCH 08		
					STANDARD No. 606	

TREE PRESERVATION PLAN DETAIL

9 LD-03

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION



NOTE: All tree stakes, ties, wraps and guards are to be removed one year after installation by the landscape contractor.

STAKING: Secure one stake to whip with approved short hemp rope. Ensure the stakes are not in contact with the bark. Secure into ground with a minimum depth of 450 (1'-6").

RODENT PROTECTION: DRAIN PIPE 100mm DIA.; 200mm PLASTIC CORRUGATED

MULCHING: 75 (3") shredded bark mulch be "All Treat" or equal.

PLANTING SOIL MIXTURE: (Mix thoroughly)
A. For ideal situations mix:
- 6 parts good quality topsoil
- 2 parts well rotted cow manure
- 1 part peat moss

B. For clay or wet situations:
- Contact consultants for proper soil mixture, before proceeding with work

C. Add 0.58 kg (1 lb) of bonemeal per cubic yard of soil
D. Soil mixture should be firmly compacted to eliminate air pockets and prevent settlement.

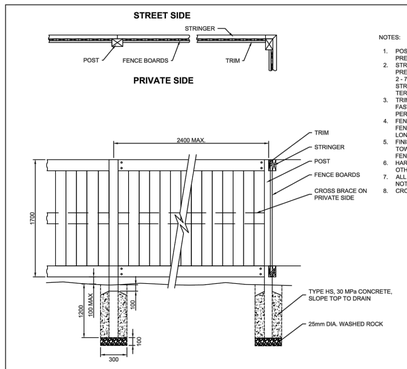
NOTES:
1. Do not allow air pockets when backfilling.
2. Position crown of root ball 50mm above finish grade to allow for settling.
3. All dimensions are in millimeters.
4. For bare root planting.

STANDARD SMALL TREE (WHIP) PLANTING DETAIL

10 LD-03

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION



NOTES:
1. POSTS: 100mm x 150mm x 3000mm LONG, ROUGH CUT SPF PRESSURE TREATED TIMBER.
2. STRINGERS: 2 - 50mm x 150mm x 2400mm LONG S4S SPF PRESSURE TREATED STRINGERS. FASTENED WITH 2 - 75mm #10 ZINC SCREWS PER CONNECTION. MOUNT STRINGERS FACING PUBLIC PROPERTY WHERE FENCE TERMINATES, ANGLE CUT STRINGER END AT 45 DEGREES.
3. TRIM: 2 - 25mm x 150mm x 2250mm LONG, S4S SPF TRIM FASTENED WITH 2 - 63mm #8 ZINC SCREWS PER CONNECTION SPACED AT 600mm.
4. FENCE BOARDS: 25mm x 150mm x 1700mm LONG S4S SPF FENCE BOARDS FASTENED WITH 2 - 50mm LONG GALVANIZED STAPLES PER CONNECTION.
5. FINISH: A CLEAR - UV PROTECTING STAIN (APPROVED BY TOWN), WILL BE REQUIRED AFTER INSTALLATION OF WOOD FENCE MEMBERS.
6. HARDWARE: ALL HARDWARE TO BE GALVANIZED, UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.
8. CROSS BRACE 2"X4" TO BE INSTALLED ON PRIVATE SIDE

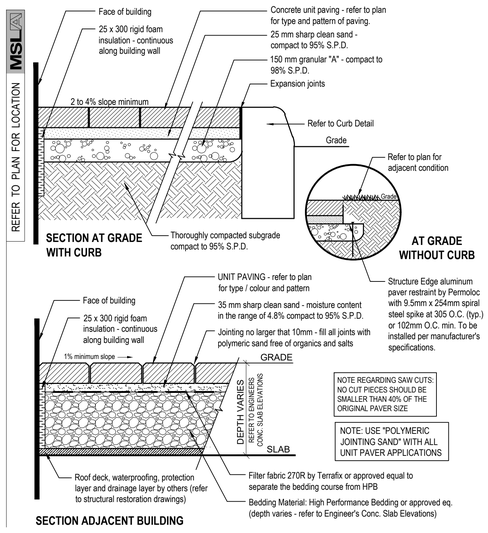
TOWN OF CALEDON	NO.	REVISION	APR'D	DATE		
					APR'D:	DATE: MAY 19
WOOD SCREEN FENCE DETAIL	1	DRAWING & TEXT REVISIONS		MAY 19	DRAWN:	SCALE: N.T.S.
					STANDARD No. 605	

WOOD SCREEN FENCE DETAIL

11 LD-03

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION



NOTE REGARDING SAW CUTS: NO CUT PIECES SHOULD BE SMALLER THAN 40% OF THE ORIGINAL PAVER SIZE

NOTE: USE "POLYMERIC JOINTING SAND" WITH ALL UNIT PAVER APPLICATIONS

PRECAST CONCRETE PAVER INSTALLATION DETAIL

12 LD-03

SCALE: N.T.S. SINGLE SOLDIER COURSE OPTION

REFER TO PLAN FOR LOCATION

MAGLIN

MAGLIN SITE FURNITURE INC.
27 BYSHAM PARK DRIVE
WOODSTOCK, ON, N4T 1P1
TOLL FREE: 1-800-265-9506
FAX: 1.(877) 260-9383
www.maglin.com

MATERIALS:

The OGM1900-SCR4 Seat pan is constructed from steel. The seat employs Ipe wood, HDPE (plastic), or HDPC (composite) slats.

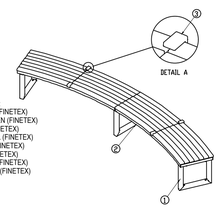
PRODUCT OPTIONS

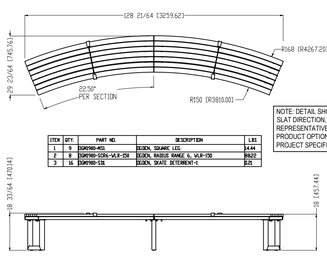
Slat Direction:
☐ Left to Right (OGM1900-SCR4-LR)
☑ Front to Back (OGM1900-SCR4-FB)

Wood Seat:
☐ Ipe (OGM1900-SCR4-W)
Plastic Seat – HDPE (orange peel appearance):
☐ Black (OGM1900-SCR4-PBK)
☐ Brown (OGM1900-SCR4-PBN)
☐ Green (OGM1900-SCR4-PGN)
☐ Grey (OGM1900-SCR4-PGY)
☐ Orange (OGM1900-SCR4-POR)
Paper Composite Seat – HDPC:
☐ Charcoal (OGM1900-SCR4-PCC)
☑ Sandstone (OGM1900-SCR4-PCS)

OPTIONS:
☑ Skate Deterrents
☑ Square Legs

☐ Powdercoat Colour:
☐ SILVER14 (FINETEX)
☐ EVERGREEN (FINETEX)
☐ BLACK (FINETEX)
☑ GUNMETAL (FINETEX)
☐ BRONZE (FINETEX)
☐ SLATE (FINETEX)
☐ TITANIUM (FINETEX)
☐ CORE TEN (FINETEX)





ITEM	QTY.	PART NO.	DESCRIPTION	LBS
1	9	OGM1900-WSS	SEATS, SQUARE LEG	34.44
2	8	OGM1900-CSR4-WLR-FSB	SEATS, RADIUS BANKS & WLR-FSB	88.62
3	16	OGM1900-SIB	SEATS, SKATE DETERRENT-S	8.25

NOTE: DETAIL SHOWS LEFT TO RIGHT SLAT DIRECTION, HOWEVER THIS IS REPRESENTATIVE ONLY. REFER TO PRODUCT OPTIONS (LEFT) FOR PROJECT SPECIFIC DETAILS.

BENCH BY MAGLIN: OGDEN COLLECTION (ARC)

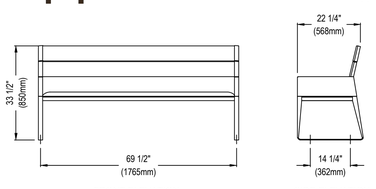
13 LD-03

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION

Equiparc

EQUIPARC
1001 JAMES-BRODIE
ST-JEAN-SUR-RICHELIEU, QC J2X 0C1
TOLL FREE: 1-800-363-9264
PHONE: (450) 346-1882
FAX: (866) 346-2538
www.equiparc.com



FRONT ELEVATION

SIDE ELEVATION

TOP VIEW

MODEL: EP1930

☑ SELECT MATERIAL OPTIONS:

STRUCTURE FINISH	WOOD COVERING
☐ NAVY	☑ DFP
☐ CHILI	☐ IPE
☐ OLIVE	☐ JAT
☐ BRONZE	☐ HWA
☐ BLACK	
☐ SILVER	
☐ WHITE	
☑ METEOR GREY	

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

STANDARD BENCH - DIMANCHE BY EQUIPARC

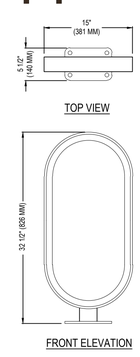
14 LD-03

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION

Equiparc

EQUIPARC
1001 JAMES-BRODIE
ST-JEAN-SUR-RICHELIEU, QC J2X 0C1
TOLL FREE: 1-800-363-9264
PHONE: (450) 346-1882
FAX: (866) 346-2538
www.equiparc.com



TOP VIEW

MODEL: EP5790

☑ SELECT MATERIAL OPTIONS:

WOOD COVERING	STRUCTURE FINISH
☑ DFP	☐ NAVY
☐ IPE	☐ CHILI
☐ JAT	☐ OLIVE
☐ HWA	☐ BRONZE
	☐ BLACK
	☐ SILVER
	☐ WHITE
	☑ METEOR GREY

FRONT ELEVATION

SIDE ELEVATION

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
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BIKE RING - MTL BY EQUIPARC

15 LD-03

SCALE: N.T.S. DATE:

No.	Revision	Date
10	Issued for Final OPA/ZBA Sub	11/18/24
09	Issued for 3rd Submission	06/13/24
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04	Revised per Site Plan	11/18/22
03	Issued for Submission	12/22/20
02	Issued for Review	12/15/20
01	Issued for Review	11/19/20

North: Stamp: ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS MEMBER

Project:

Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **As Shown** Date: **Nov. 2020**

Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:

Landscape Details

Project No. **20175** Sheet No. **LD-03**

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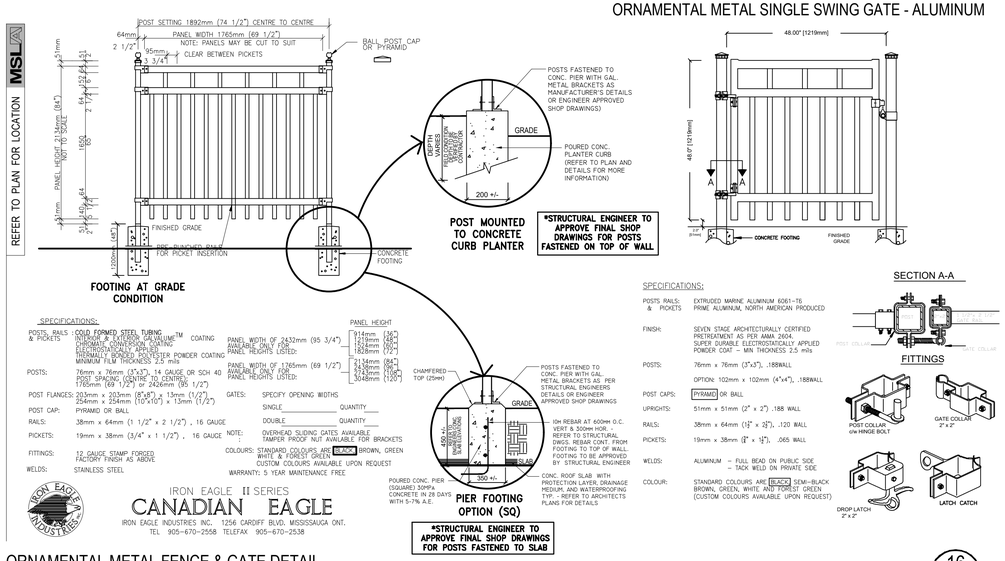
DO NOT SCALE DRAWINGS • PRELIMINARY NOT FOR CONSTRUCTION • THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT • SIGNED DATE

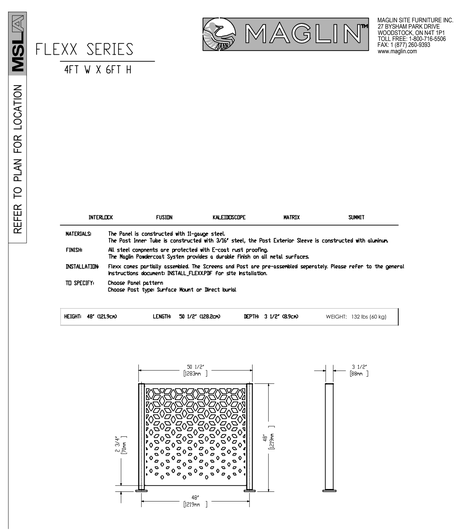
ORNAMENTAL METAL SINGLE SWING GATE - ALUMINUM



ORNAMENTAL METAL FENCE & GATE DETAIL

SCALE: N.T.S. DATE:

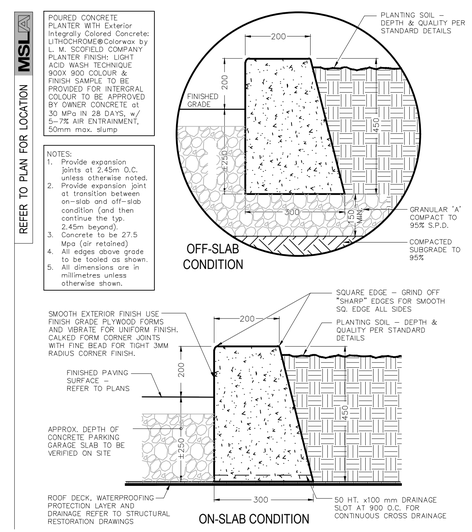
16 LD-04



DEC. METAL SCREEN PANEL 4' HT - MAGLIN FLEX

SCALE: N.T.S. DATE:

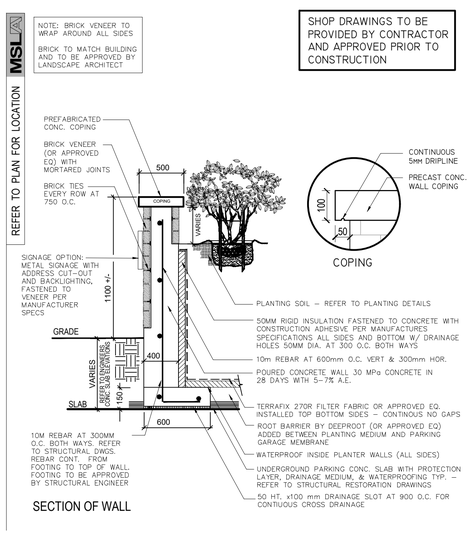
18 LD-04



200mm HT CONCRETE CURB PLANTER

SCALE: N.T.S. DATE:

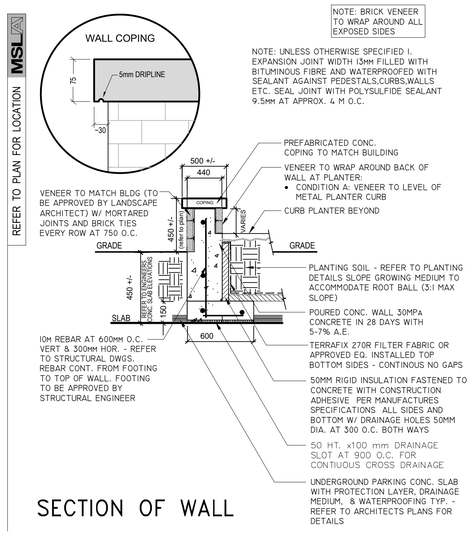
19 LD-04



1100 +/- HT. FEATURE WALL WITH VENEER

SCALE: N.T.S. ON CONCRETE SLAB DETAIL

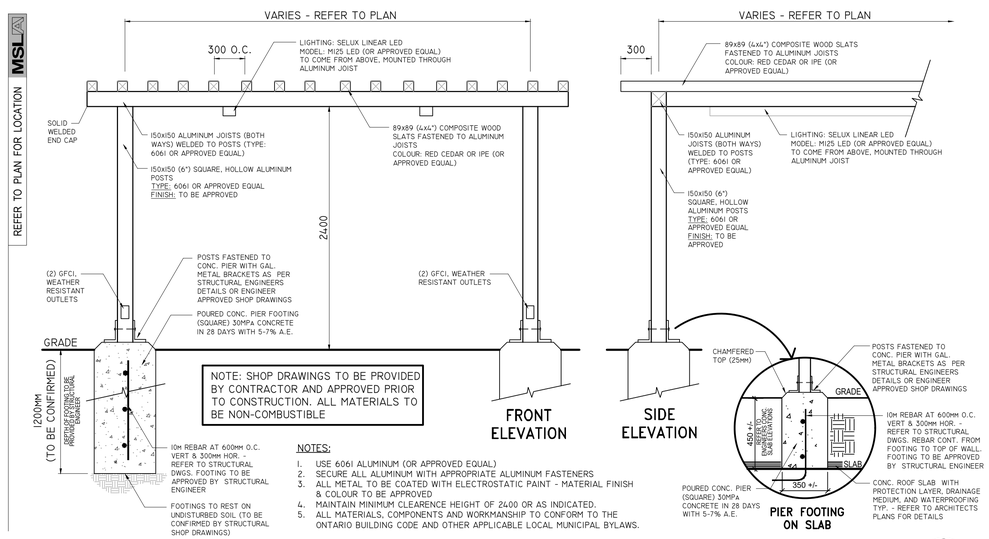
20 LD-04



450mm HT SEATWALL

SCALE: N.T.S. ON CONCRETE SLAB DETAIL

21 LD-04



ALUMINUM PERGOLA STRUCTURE CONCEPT

SCALE: N.T.S. TO BE APPROVED BY STRUCTURAL ENGINEER

22 LD-04

msla
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Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 | email. info@msla.ca

Architect:
FCA
FAUSTO CORTESE ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

Municipality:
THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

No.	Revision	Date
10	Issued for Final OPA/ZBA Sub	11/18/24
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03	Issued for Submission	12/22/20
02	Issued for Review	12/15/20
01	Issued for Review	11/19/20

North: Stamp: ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO, CANADA MEMBER OALA

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **As Shown** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Details

Project No. **20175** Sheet No. **LD-04**

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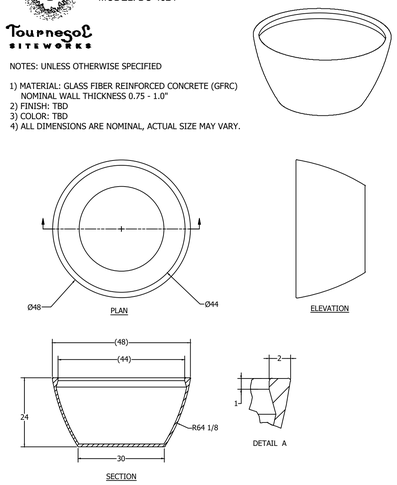
REFER TO PLAN FOR LOCATION

DOWNTOWN COLLECTION
MODEL: DS-4824

Tournesol SITEWORKS

NOTES: UNLESS OTHERWISE SPECIFIED

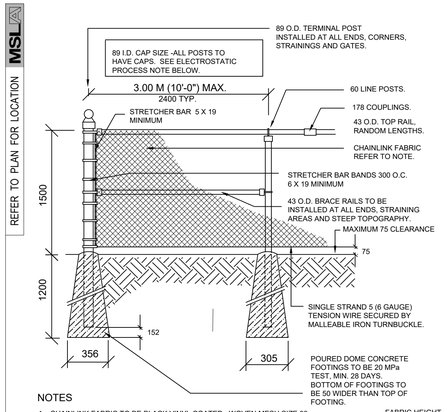
1) MATERIAL: GLASS FIBER REINFORCED CONCRETE (GFRC)
   NOMINAL WALL THICKNESS 0.75 - 1.0"
2) FINISH: TBD
3) COLOR: TBD
4) ALL DIMENSIONS ARE NOMINAL, ACTUAL SIZE MAY VARY.



PLANTER DETAIL BY TOURNESOL — 23 — LD-05

SCALE: N.T.S. MODEL: DS-4200

REFER TO PLAN FOR LOCATION



NOTES

1. CHAINLINK FABRIC TO BE BLACK VINYL COATED, WOVEN MESH SIZE 38mm,
   1.5M, CONSTRUCTED WITH 3.5 (9 GAUGE) GALVANIZED WIRE COATED WITH BLACK VINYL, FASTENED TO TOP RAIL, BRACE RAIL, LINE POST, STRETCHER BAR AND TENSION WIRE WITH 3.5 (9 GAUGE) GALVANIZED WIRE 450 (18") O.C.
2. ALL FENCE COMPONENTS OTHER THAN VINYL COATED CHAINLINK FABRIC SHALL BE PAINT TREATED WITH ONE COAT STERLING RED PRIMER #1734, FOLLOWED BY ONE COAT STERLING SEMI-GLOSS BLACK ENAMEL #3813, BY ELECTROSTATIC PROCESS.
3. POST: STANDARD BUTT-WELDED SCH40. ASTM 120 GALV.PIPE.
4. ALL DIMENSIONS ARE IN METRES AND MILLIMETRES.

BLACK VINYL CHAINLINK FENCE - HT 1.5 m (5'-0") — 24 — LD-05

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION

Equiparc

EQUIPARC
1001 JAMES-BRODIE
ST-JEAN-SUR-RICHELIEU, QC J2X 0C1
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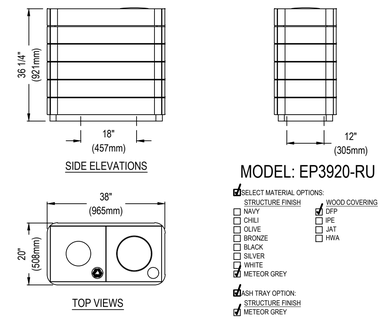

MODEL: EP3920-RU

☑ SELECT MATERIAL OPTIONS:

STRUCTURE FINISH	WOOD COVERING
☐ NAVY	☑ DFP
☐ CHILI	☐ IPE
☐ OLIVE	☐ JAT
☐ BRONZE	☐ HWA
☐ BLACK	
☐ SILVER	
☐ WHITE	
☑ METEOR GREY	

☑ ASH TRAY OPTION:
STRUCTURE FINISH
☑ METEOR GREY

NOTES:
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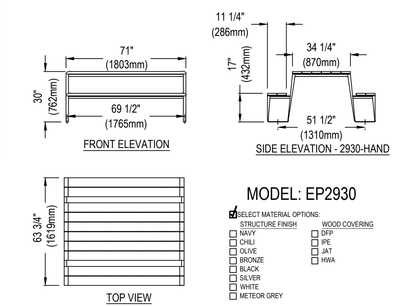
DUAL STREAM WASTE RECEPTACLE - BY EQUIPARC — 25 — LD-05

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION

Equiparc

EQUIPARC
1001 JAMES-BRODIE
ST-JEAN-SUR-RICHELIEU, QC J2X 0C1
TOLL FREE: 1-800-363-9264
PHONE: (450) 346-1882
FAX: (866) 346-2538
www.equiparc.com



MODEL: EP2930

☑ SELECT MATERIAL OPTIONS:

STRUCTURE FINISH	WOOD COVERING
☐ NAVY	☐ DFP
☐ CHILI	☐ IPE
☐ OLIVE	☐ JAT
☐ BRONZE	☐ HWA
☐ BLACK	
☐ SILVER	
☐ WHITE	
☐ METEOR GREY	

TWO UNITS:
- ONE STANDARD TABLE
- ONE w/ ACCESSIBLE EXTENSION OF TABLE TOP TO 2430MM (95.5")

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
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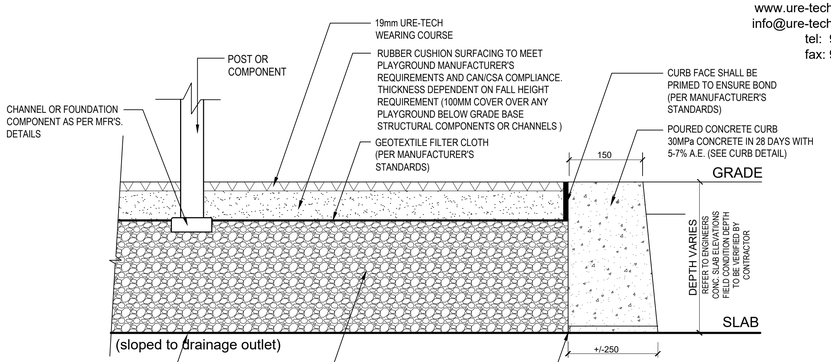
DINING TABLE - DIMANCHE BY EQUIPARC — 26 — LD-05

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION

URE-TECH SURFACES
www.ure-techsurfaces.com
info@ure-techsurfaces.com
tel: 905-623-0600
fax: 905-248-3180



NOTE: CONTRACTOR TO ENSURE DRAINAGE TOWARDS EXISTING AREA DRAINS, OR ADD NEW DRAINS AS REQUIRED - TO PROVIDE ADEQUATE DRAINAGE

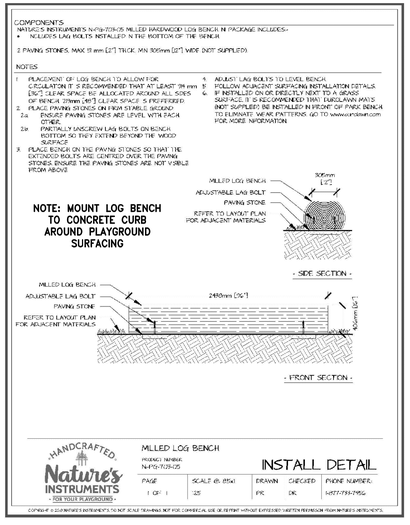
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
2. CONCRETE OR METAL FOOTINGS OF ALL PLAY EQUIPMENT SHALL BE INSTALLED PRIOR TO THE INSTALLATION OF RUBBER SURFACE MATERIAL WITH 100MM MIN. COVER.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

POURED-IN-PLACE RUBBER SAFETY SURFACING - ON SLAB — 27 — LD-05

SCALE: N.T.S. SAFETY SURFACING OVER COMPACTED AGGREGATE BASE W/ CONC. CURB

REFER TO PLAN FOR LOCATION



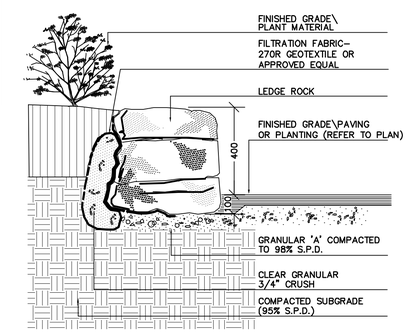
MILLED LOG BENCH — 28 — LD-05

SCALE: N.T.S. DATE:

REFER TO PLAN FOR LOCATION

STONE SIZE:
HEIGHT: 400mm (16")
LENGTH: APPROX. 1000mm
WIDTH: APPROX. 500mm

NOTES:
1. ALL STONES TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. ALL QUARRY STONE TO HAVE SPLIT OR NATURALLY WEATHERED FACES; NO EXPOSED DRILL MARKINGS.
3. STONE TO FIT TIGHTLY TOGETHER, MAX GAP 25mm (1"), CUBICAL OR BLOCK STONE.
4. SHARP FACES AND PROTRUSIONS TO BE SOFTENED/REMOVED/ ADDRESSED.
5. ALL DIMENSIONS ARE IN MILLIMETRES.
6. WHEN ADJACENT WALKWAYS, 100mm MIN. HEIGHT IS REQUIRED



NOTE: IF STONE WALL/PLANTER EXCEEDS TWO (2) COURSES IN IN HEIGHT ADD A 150 MM. FABRIC WRAPPED P.V.C. DRAINAGE TILE BEHIND WALL

ALL DIMENSIONS ARE IN MILLIMETRES

ARMOURSTONE PLANTER — 29 — LD-05

SCALE: N.T.S. DATE:

msla
MARTON SMITH LANDSCAPE ARCHITECTS
170 The Donway W Suite 206.
Toronto, Ontario, Canada. M3C 2G3
tel. 416.492.9966 | email. info@msla.ca

Architect:
FCA
FAUSTO CORTESE ARCHITECTS
3590 RUTHERFORD RD. UNIT 7
VAUGHAN, ONTARIO, L4H 3T8
416-806-7000
FCORTESE@FCARCHITECTS.CA

Municipality:
THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

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01	Issued for Review	11/19/20

North: Stamp: ASSOCIATION OF LANDSCAPE ARCHITECTS ONTARIO — OALA — MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **As Shown** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Details

Project No. **20175** Sheet No. **LD-05**

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DO NOT SCALE DRAWINGS ● PRELIMINARY NOT FOR CONSTRUCTION ● THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT ● SIGNED _____ DATE _____

REFER TO PLAN FOR LOCATION MSLA

Little Fox' Shop

NRO418

KOMPAN Let's play

Item no. NRO418-1021	
General Product Information	
Dimensions LxWxH	284x420x218 cm
Age group	2 - 5
Play capacity (users)	18
Colour options	

The Little Fox' Shop has meandering, low floors and a dense, activity packed climb and slide offering with an elevated play house that will attract and excite toddlers again and again. Rich tactile features greatly increase play value and support emerging dramatic play in the toddlers. The scale of the Little Fox' Shop is perfectly shaped for toddlers. The leafy crawl-through panel encourages children to crawl and explore.. The window with curtain invites social cooperation between inside and outside, supporting turn-taking and cooperation skills and not least inviting peek-a-boo games that support the understanding of object permanence: that things don't cease to exist when they are out of sight. These tactile activities stimulate cross-modal perception, important for improving reading skills and support cross-coordination awareness which is key to physical and cognitive development at this age. The house with its many details and corners supports emerging dramatic play which stimulates language skills. Thrilling sliding is invited with a friendly loop between access platform and slide mouth. The inclined climbing wall on the other side adds varied access and supports cross-coordination which is key to physical as well as cognitive development at this age.

1 / 02/19/2024

Data is subject to change without prior notice.

Little Fox' Shop

NRO418

KOMPAN Let's play

All Organic Robinia products by KOMPAN are made of Robinia wood from sustainable European sources. On request it can be supplied as FSC® Certified (FSC® C004450).

The product/activities are preassembled from the factory to ensure all safety requirements are considered.

The paint used for coloured components is water based environmental friendly with excellent UV resistance. The paint is in compliance with EN 71 Part 3.

Item no. NRO418-1021	
Installation Information	
Max. fall height	140 cm
Safety surfacing area	37.5 m²
Total installation time	24.1
Excavation volume	1.75 m³
Concrete volume	0.00 m³
Footing depth (standard)	100 cm
Shipment weight	1,002 kg
Anchoring options	In-ground ✓
	Surface ✓
Warranty Information	
Robinia wood	15 years
Stainless steel components	Lifetime
Hot dip galvanised steel	Lifetime
EcoCore HDPE	Lifetime
Spare parts guaranteed	10 years

Panels of 19mm EcoCore™. EcoCore™ is a highly durable, eco friendly material, which is not only recyclable after use, but also consists of material produced from +95% recycled post consumer material from food packing waste.

There are Multiple footing options for all products: Surface anchoring with steel footings and expansion bolts. Wood in-ground or steel in-ground footings.

Robinia products are available in three different wood treatment options: untreated Robinia wood or brown painted with a pigment that maintains the wood colour and coloured version with paint of selected components.

CSA Z614 compliant

2 / 02/19/2024

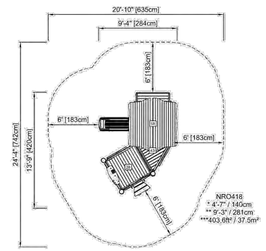
Data is subject to change without prior notice.

Little Fox' Shop

NRO418

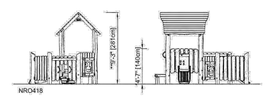
KOMPAN Let's play

* Max fall height | ** Total height | *** Safety surfacing area



Click to see TOP VIEW

* Max fall height | ** Total height



Click to see SIDE VIEW

4 / 02/19/2024

Data is subject to change without prior notice.

TOT LOT PLAYGROUND OPTION - AGES 2-5

SCALE: N.T.S. NOTE: OR APPROVED EQUAL

REFER TO PLAN FOR LOCATION MSLA

Mega Deck with Banister Bars

NRO1025

KOMPAN Let's play

Item no. NRO1025-1021	
General Product Information	
Dimensions LxWxH	587x498x417 cm
Age group	5 - 12
Play capacity (users)	16
Colour options	

The Mega Deck with Banister Bars has a fun selection of scaled play challenges and meeting points that will stimulate all children to play again and again. The accessible stairway leads to a lower slide, finishing a practical loop for those with assistive devices or assistants. A play desk adds a ground level destination and a place to socialise. The tower can be climbed in multiple ways: via the stair, the vertical climbing wall with window openings to decks, or the net. Climbing trains major muscle groups and cross-coordination. This again stimulates cross-modal perception, necessary for reading. For daredevils, the banister bars add an exciting and fast way to ground level. The slide is the more quiet alternative. Both train spatial awareness, which is important for managing the world securely.

1 / 02/19/2024

Data is subject to change without prior notice.

Mega Deck with Banister Bars

NRO1025

KOMPAN Let's play

All Organic Robinia products by KOMPAN are made of Robinia wood from sustainable European sources. On request it can be supplied as FSC® Certified (FSC® C004450).

The paint used for coloured components is water based environmentally friendly with excellent UV resistance. The paint is in compliance with EN 71 Part 3.

The product/activities are preassembled from the factory to ensure all safety requirements are considered.

Item no. NRO1025-1021	
Installation Information	
Max. fall height	252 cm
Safety surfacing area	56.4 m²
Total installation time	36.9
Excavation volume	1.67 m³
Concrete volume	0.17 m³
Footing depth (standard)	100 cm
Shipment weight	1,706 kg
Anchoring options	In-ground ✓
Warranty Information	
Robinia wood	15 years
Stainless steel components	Lifetime
Stainless steel components	Lifetime
Ropes & nets	10 years
Spare parts guaranteed	10 years

Slide is made of moulded PE. PE has excellent impact strength and it is usable within a large temperature span.

The hardware is made of stainless steel or galvanised steel to ensure durable connections with a high corrosion resistance.

The Robinia products are designed with a KOMPAN colour concept with a number of different standard colours. The wood can also be supplied as untreated or with brown painted with a pigment that maintains the wood colour.

CSA Z614 compliant

2 / 02/19/2024

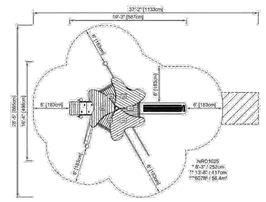
Data is subject to change without prior notice.

Mega Deck with Banister Bars

NRO1025

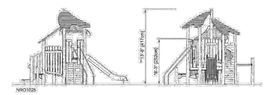
KOMPAN Let's play

* Max fall height | ** Total height | *** Safety surfacing area



Click to see TOP VIEW

* Max fall height | ** Total height



Click to see SIDE VIEW

4 / 02/19/2024

Data is subject to change without prior notice.

PLAYGROUND OPTION - AGES 5-12

SCALE: N.T.S. NOTE: OR APPROVED EQUAL

MARTON SMITH LANDSCAPE ARCHITECTS
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Municipality:
THE CORPORATION OF THE TOWN OF CALEDON

SPA No.: **SPA 2021-0004**

Notes:

No.	Revision	Date
10	Issued for Final OPA/ZBA Sub	11/18/24
09	Issued for 3rd Submission	06/13/24
08	Revised per Town Comments	04/11/24
07	Revised per Site Plan	03/15/24
06	Issued for Re-Submission	01/20/23
05	Issued for Coordination	12/08/22
04	Revised per Site Plan	11/18/22
03	Issued for Submission	12/22/20
02	Issued for Review	12/15/20
01	Issued for Review	11/19/20

North: Stamp: ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

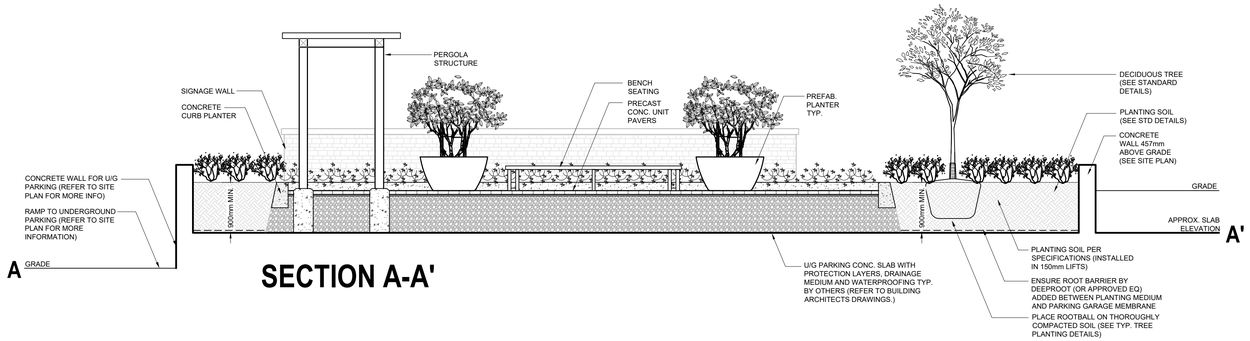
Scale: **As Shown** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Details

Project No. **20175** Sheet No. **LD-06**

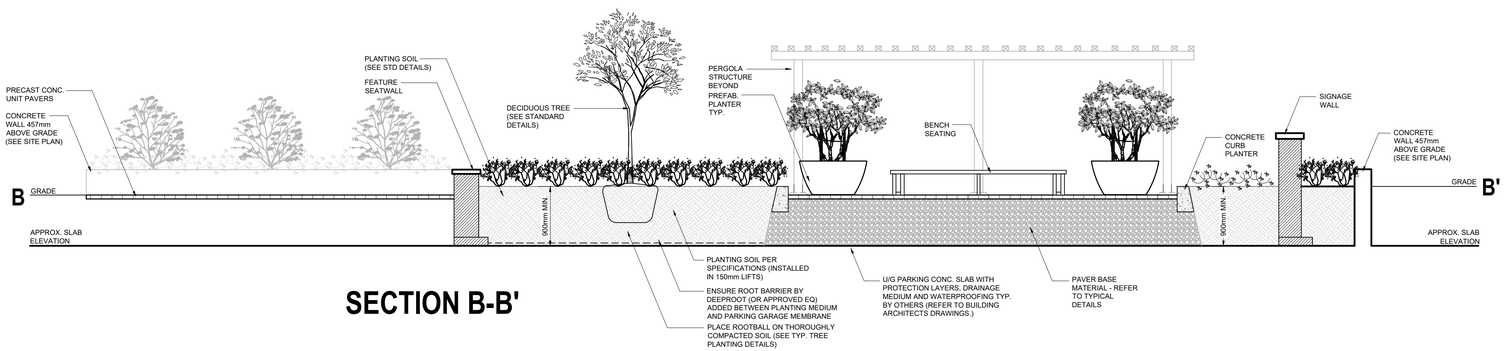
All information contained in these plans shall be checked by the contractor. All discrepancies shall be reported to the Landscape Architect (L.A.) before commencing with construction. All drawings have copyright and shall remain the property of the Landscape Architect. Copying or any reproduction in part or whole shall only be permitted with written consent of L. A. Drawings shall not be used for construction unless sealed & SIGNED.
All drainage patterns must drain positively away from buildings on structures at 2% min. The position of existing above ground and underground utilities and facilities are not necessarily shown on this drawings, and where shown, the accuracy of the position of utilities or facilities is not guaranteed. Before starting work, the contractor shall confirm the exact location of all existing utilities and facilities, and shall assume liability for damages.
NOTE: DRAWINGS MUST BE SIGNED & SEALED BY A LICENSED LANDSCAPE ARCHITECT ● DO NOT SCALE DRAWINGS ● PRELIMINARY NOT FOR CONSTRUCTION ● THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY L. ARCHITECT ● SIGNED
DATE

Section Plan, A-A'
Scale 1:50



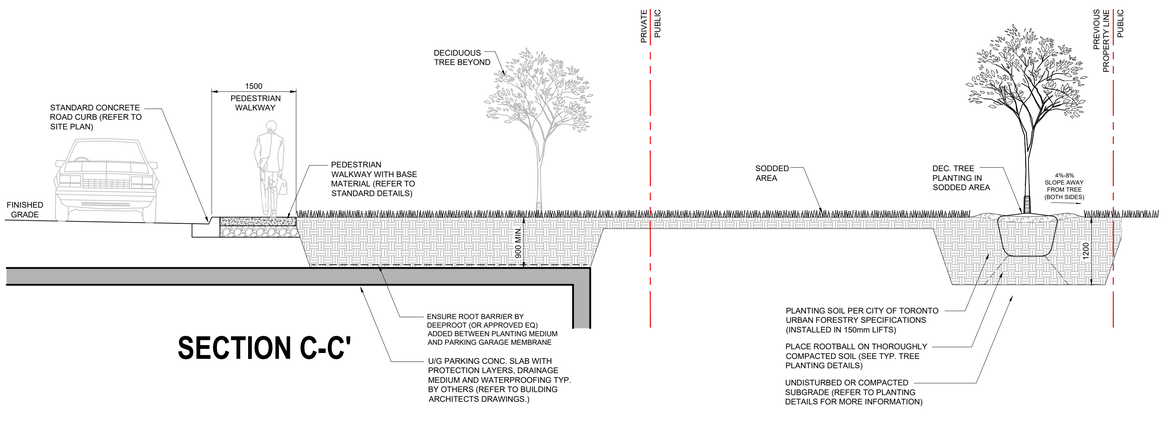
SECTION A-A'

Section Plan, B-B'
Scale 1:50



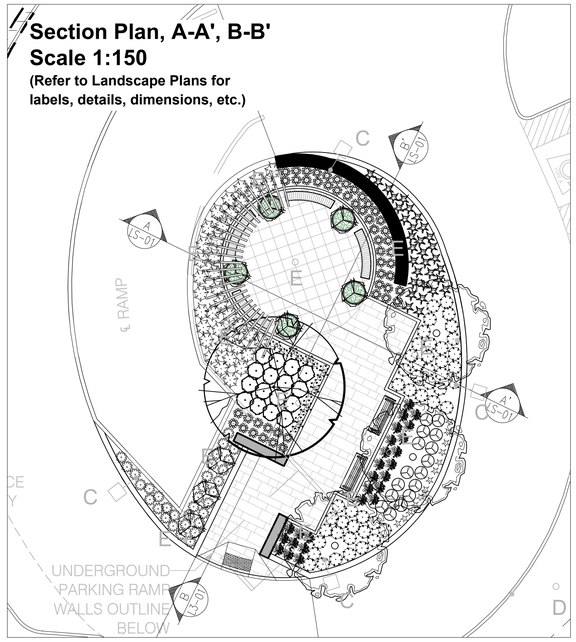
SECTION B-B'

Section Plan, C-C'
Scale 1:50

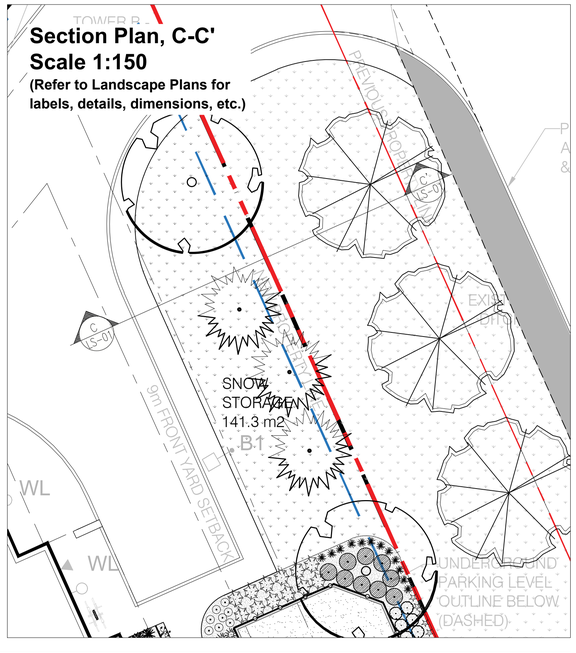


SECTION C-C'

Section Plan, A-A', B-B'
Scale 1:150
(Refer to Landscape Plans for labels, details, dimensions, etc.)



Section Plan, C-C'
Scale 1:150
(Refer to Landscape Plans for labels, details, dimensions, etc.)



msla
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North: Stamp:

ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS — OALA — MEMBER

Project:
Proposed Residential Development
12148 Albion Road
Caledon, Ontario

Scale: **As Shown** Date: **Nov. 2020**
Drawn By: **D.R.** Checked By: **L.M.**

Drawing Title:
Landscape Concept Sections

Project No. **20175** Sheet No. **LS-01**

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