

QUADREAL DIXIE NEN & NES - 12489 & 12861 DIXIE RD, CALEDON

12489 & 12861 DIXIE RD, CALEDON
ONTARIO, CANADA, L7C 2K5



WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
6220 Highway 7, Suite 300
Vaughan, Ontario L4H 0R1, Canada
P 905.850.4696



**QUADREAL DIXIE
NEN & NES -
12489 & 12861 DIXIE RD,
CALEDON, ONTARIO,
CANADA, L7C 2K5**

VICINITY MAP	OWNER	OWNER'S CONSULTANTS		SHEET INDEX	TOTAL SHEETS																																																						
	<p>QUADREAL PROPERTY GROUP 199 BAY ST SUITE 4900 TORONTO, ONTARIO M5L 1G2</p> <p>CONTACT: JOHN MAROTTA PH: (416) 673-7401 / M: (416) 712-7686 EMAIL: john.marotta@quadreal.com</p>	<p>CIVIL ENGINEER STANTEC 2100 DERRY ROAD WEST MISSISSAUGA, ONTARIO, L5N 0B3</p> <p>PRIMARY CONTACT: RIZ AKHTAR PH: (416) 418-3642 EMAIL: riz.akhtar@stantec.com</p>	<p>HAMMERSCHLAG & JOFFE 43 LESMILL ROAD TORONTO, ONTARIO, M3B 2T8</p> <p>PRIMARY CONTACT: BRAD BELL PH: (416) 844-5024 EMAIL: brad.bell@hamjof.com</p>	<p>ARCHITECTURAL</p> <table border="1"> <tr><td>G010</td><td>TITLE SHEET</td></tr> <tr><td>G020</td><td>MATRIX SCHEDULE - 12861 DIXIE RD</td></tr> <tr><td>G021</td><td>MATRIX SCHEDULE - 12489 DIXIE RD</td></tr> <tr><td>A100</td><td>OVERALL SITE PLAN</td></tr> <tr><td>A100(1)</td><td>SITE PLAN - 12861 DIXIE RD</td></tr> <tr><td>A100(2)</td><td>SITE PLAN - 12489 DIXIE RD</td></tr> <tr><td>A120</td><td>BUILDING 1 FLOOR PLAN - 12861 DIXIE RD</td></tr> <tr><td>A121</td><td>BUILDING 2 FLOOR PLAN - 12861 DIXIE RD</td></tr> <tr><td>A122</td><td>BUILDING 1 FLOOR PLAN - 12489 DIXIE RD</td></tr> <tr><td>A123</td><td>BUILDING 2 FLOOR PLAN - 12489 DIXIE RD</td></tr> <tr><td>A124</td><td>BUILDING 3 FLOOR PLAN - 12489 DIXIE RD</td></tr> <tr><td>A190</td><td>BUILDING 1 ROOF PLAN - 12861 DIXIE RD</td></tr> <tr><td>A191</td><td>BUILDING 2 ROOF PLAN - 12861 DIXIE RD</td></tr> <tr><td>A192</td><td>BUILDING 1 ROOF PLAN - 12489 DIXIE RD</td></tr> <tr><td>A193</td><td>BUILDING 2 ROOF PLAN - 12489 DIXIE RD</td></tr> <tr><td>A194</td><td>BUILDING 3 ROOF PLAN - 12489 DIXIE RD</td></tr> <tr><td>A210</td><td>BUILDING 1 EXTERIOR ELEVATIONS - 12861 DIXIE RD</td></tr> <tr><td>A211</td><td>BUILDING 2 EXTERIOR ELEVATIONS - 12861 DIXIE RD</td></tr> <tr><td>A212</td><td>BUILDING 1 EXTERIOR ELEVATIONS - 12489 DIXIE RD</td></tr> <tr><td>A213</td><td>BUILDING 2 EXTERIOR ELEVATIONS - 12489 DIXIE RD</td></tr> <tr><td>A214</td><td>BUILDING 3 EXTERIOR ELEVATIONS - 12489 DIXIE RD</td></tr> <tr><td>A310</td><td>BUILDING 1 SECTIONS - 12861 DIXIE RD</td></tr> <tr><td>A311</td><td>BUILDING 2 SECTIONS - 12861 DIXIE RD</td></tr> <tr><td>A312</td><td>BUILDING 1 SECTIONS - 12489 DIXIE RD</td></tr> <tr><td>A313</td><td>BUILDING 2 SECTIONS - 12489 DIXIE RD</td></tr> <tr><td>A314</td><td>BUILDING 3 SECTIONS - 12489 DIXIE RD</td></tr> <tr><td colspan="2">ARCHITECTURAL SHEET COUNT: 26</td></tr> </table>	G010	TITLE SHEET	G020	MATRIX SCHEDULE - 12861 DIXIE RD	G021	MATRIX SCHEDULE - 12489 DIXIE RD	A100	OVERALL SITE PLAN	A100(1)	SITE PLAN - 12861 DIXIE RD	A100(2)	SITE PLAN - 12489 DIXIE RD	A120	BUILDING 1 FLOOR PLAN - 12861 DIXIE RD	A121	BUILDING 2 FLOOR PLAN - 12861 DIXIE RD	A122	BUILDING 1 FLOOR PLAN - 12489 DIXIE RD	A123	BUILDING 2 FLOOR PLAN - 12489 DIXIE RD	A124	BUILDING 3 FLOOR PLAN - 12489 DIXIE RD	A190	BUILDING 1 ROOF PLAN - 12861 DIXIE RD	A191	BUILDING 2 ROOF PLAN - 12861 DIXIE RD	A192	BUILDING 1 ROOF PLAN - 12489 DIXIE RD	A193	BUILDING 2 ROOF PLAN - 12489 DIXIE RD	A194	BUILDING 3 ROOF PLAN - 12489 DIXIE RD	A210	BUILDING 1 EXTERIOR ELEVATIONS - 12861 DIXIE RD	A211	BUILDING 2 EXTERIOR ELEVATIONS - 12861 DIXIE RD	A212	BUILDING 1 EXTERIOR ELEVATIONS - 12489 DIXIE RD	A213	BUILDING 2 EXTERIOR ELEVATIONS - 12489 DIXIE RD	A214	BUILDING 3 EXTERIOR ELEVATIONS - 12489 DIXIE RD	A310	BUILDING 1 SECTIONS - 12861 DIXIE RD	A311	BUILDING 2 SECTIONS - 12861 DIXIE RD	A312	BUILDING 1 SECTIONS - 12489 DIXIE RD	A313	BUILDING 2 SECTIONS - 12489 DIXIE RD	A314	BUILDING 3 SECTIONS - 12489 DIXIE RD	ARCHITECTURAL SHEET COUNT: 26		<p>TOTAL SHEETS 26</p>
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ARCHITECT		<p>TRANSPORTATION CONSULTANT BA CONSULTING GROUP LTD. 95 ST. CLAIR AVENUE WEST, SUITE 1000 TORONTO</p> <p>PRIMARY CONTACT: THOMAS WOODHALL PH: (416) 961-7110 EMAIL: woodhall@bagroup.com</p>	<p>HERITAGE CONSULTANT IRVIN HERITAGE P.O. BOX 93163 NEWMARKET, ONTARIO L3Y 8K3</p> <p>PRIMARY CONTACT: THOMAS IRVIN PH: (647) 799-4418 EMAIL: tirvin@irvinheritage.com</p>	<table border="1"> <tr><th>DATE</th><th>REMARKS</th></tr> <tr><td>2023-12-12</td><td>ISSUED FOR OPAZBA</td></tr> <tr><td>2024-10-16</td><td>REISSUED FOR OPAZBA</td></tr> <tr><td>2024-12-05</td><td>REISSUED FOR OPAZBA</td></tr> </table>		DATE	REMARKS	2023-12-12	ISSUED FOR OPAZBA	2024-10-16	REISSUED FOR OPAZBA	2024-12-05	REISSUED FOR OPAZBA																																														
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<p>WARE MALCOMB 6220 HWY 7, SUITE 300 VAUGHAN, ONTARIO L4H 0R1 CANADA P 905.850.4696</p> <p>PRIMARY CONTACT: AMANDA SANABRIA PH: (905) 760-1221 x2142 EMAIL: asanabria@waremalcomb.com</p>		<p>LEED CONSULTANT DESIGN MANAGEMENT SERVICES</p> <p>PRIMARY CONTACT: MICHELLE GALVIS PH: (786) 681-5214 EMAIL: mgalvis@dms.eco</p>	<p>LANDSCAPE CONSULTANT MHBC 7050 WESTON ROAD SUITE 230 WOODBRIIDGE, ONTARIO L4L 8G7</p> <p>PRIMARY CONTACT: GREG COSTA PH: (416) 671-7602 EMAIL: gcosta@mhbcp.com</p>	<table border="1"> <tr><td>PA/PM:</td><td>A. SANABRIA</td></tr> <tr><td>DRAWN BY:</td><td>T.M. / O.T.</td></tr> <tr><td>JOB NO.:</td><td>TOR22-0060-01</td></tr> </table>		PA/PM:	A. SANABRIA	DRAWN BY:	T.M. / O.T.	JOB NO.:	TOR22-0060-01																																																
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<p>ACOUSTICS SLR CONSULTING (CANADA) LTD. 100 STONE ROAD WEST SUITE 201 GUELPH, ONTARIO N1G 5L3</p> <p>PRIMARY CONTACT: AARON HANIFF PH: (519) 382-5587 EMAIL: ahaniff@slrconsulting.com</p>		<p>PLANNER ARMSTRONG CONSULTING 1600 STEELES AVENUE WEST SUITE 318 VAUGHAN, ONTARIO, L4K 4M2</p> <p>PRIMARY CONTACT: CESARE PITTELLI PH: (416) 444-3300 X3004 EMAIL: cesare@armstrongplan.ca</p>	<p>SHEET</p> <h1>G010</h1>																																																								

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: QUADREAL DIXIE NEN SPA - 12861 DIXIE RD, CALEDON
 LOCATION: 12861 DIXIE ROAD, CALEDON ONTARIO, CANADA, L7C 2K5
 BUILDING 2 - 12861 DIXIE RD

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9	BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A) FOR DIVISION A OR (C) FOR DIVISION C.																																																							
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> PART 11 <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 INDUSTRIAL WAREHOUSE <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	1.1.2 (A) 1.1.2 (A) & 9.10.1.3																																																							
2	MAJOR OCCUPANCY(S) GROUP F, DIV. 2	3.1.2.1.(1) 9.10.2																																																							
3	BUILDING AREA (sq.m.) NEW: 87,960 m2 TOTAL: 87,960 m2	1.4.1.2 (A) 1.4.1.2 (A)																																																							
4	GROSS AREA (sq.m.) NEW: 87,960 m2 TOTAL: 87,960 m2	1.4.1.2 (A) 1.4.1.2 (A)																																																							
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0	1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4																																																							
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 02	3.2.2.10 & 3.2.5.5 9.10.20																																																							
7	BUILDING CLASSIFICATION(S) 3.2.67 GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED	3.2.2.20-83 9.10.2																																																							
8	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 9.10.8.2 3.2.1.5 3.2.2.17 INDEX INDEX																																																							
9	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9 N/A																																																							
10	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4 9.10.18																																																							
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13	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE PERMITTED <input checked="" type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20-83 9.10.6																																																							
14	MEZZANINE(S) AREA m2 N/A	3.2.1.1.(3)-(8) 9.10.4.1																																																							
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> m2 / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING OFFICE OCCUPANCY: D LOAD (PERSONS): TBD WAREHOUSE OCCUPANCY: F2 LOAD (PERSONS): TBD TOTAL OCCUPANCY: D/F2 LOAD (PERSONS): <300	3.1.17 9.9.1.3																																																							
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8 9.5.2																																																							
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3 (4)																																																							
18	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: 2 HOURS ROOF: - HOURS MEZZANINE: 1 HOURS FRR OF SUPPORTING MEMBERS LISTED DESIGN No. OR DESCRIPTION (SG-2) FLOORS: 2 HOURS ROOF: - HOURS MEZZANINE: 1 HOURS	3.2.2.20-83 & 3.2.1.4 9.10.8 9.10.9																																																							
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS <table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF EBF (sq. m.)</th> <th>LD. (m)</th> <th>L/H OR H/L</th> <th>PERMITTED MAX. % OF OPENINGS</th> <th>PROPOSED % OF OPENINGS</th> <th>FRR (HOURS)</th> <th>LISTED DESIGN No. OR DESCRIPT.</th> <th>COMB. CONSTR.</th> <th>COMB. CONSTR. NON-C. CLADDING</th> <th>NON-COMB. CONSTRUCTION</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>2517</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>SOUTH</td> <td>2517</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>EAST</td> <td>6135</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>WEST</td> <td>6135</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </tbody> </table>	WALL	AREA OF EBF (sq. m.)	LD. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN No. OR DESCRIPT.	COMB. CONSTR.	COMB. CONSTR. NON-C. CLADDING	NON-COMB. CONSTRUCTION	NORTH	2517	>15	-	100%	-	-	-	-	-	-	SOUTH	2517	>15	-	100%	-	-	-	-	-	-	EAST	6135	>15	-	100%	-	-	-	-	-	-	WEST	6135	>15	-	100%	-	-	-	-	-	-	3.2.3 9.10.14
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 LOCATION: 12861 DIXIE ROAD, CALEDON ONTARIO, CANADA, L7C 2K5
 BUILDING 1 - 12861 DIXIE RD

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WEST	7043.6	>15	-	100%	-	-	-	-	-	-																																															
20	OTHERS (DESCRIBE)																																																								

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

WARE MALCOMB
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING
 INTERIORS BUILDING MEASUREMENT
 6220 Highway 7, Suite 300
 Vaughan, Ontario L4H 0R1, Canada
 P 905.650.4696



QUADREAL DIXIE NEN & NES - 12489 & 12861 DIXIE RD, CALEDON, ONTARIO, CANADA, L7C 2K5

DATE	REMARKS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	T.M. / O.T.
JOB NO.:	TOR22-0060-01

SHEET
G020

OBC MATRIX

OBC MATRIX

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: QUADREAL DIXIE NORTH-EAST SOUTH SIDE
 LOCATION: 12489 DIXIE ROAD, CALEDON, ONTARIO, CANADA.
 BUILDING 3 - 12489 DIXIE RD

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: QUADREAL DIXIE NORTH-EAST SOUTH SIDE
 LOCATION: 12489 DIXIE ROAD, CALEDON, ONTARIO, CANADA.
 BUILDING 2 - 12489 DIXIE RD

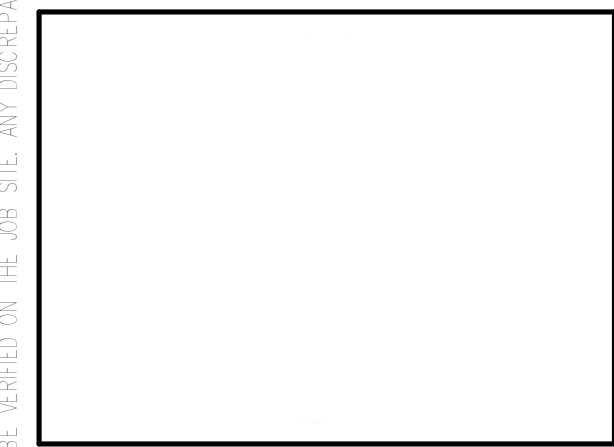
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 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: QUADREAL DIXIE NORTH-EAST SOUTH SIDE
 LOCATION: 12489 DIXIE ROAD, CALEDON, ONTARIO, CANADA.
 BUILDING 1 - 12489 DIXIE RD

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9				BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A)FOR DIVISION A OR (C) FOR DIVISION C.																																																											
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2	MAJOR OCCUPANCY(S) GROUP F, DIV. 2		3.1.2.1.(1)	9.10.2																																																												
3	BUILDING AREA (sq.m.) NEW: 42,383 M2 TOTAL: 42,383 M2		1.4.1.2 (A)	1.4.1.2 (A)																																																												
4	GROSS AREA (sq.m.) NEW: 42,383 M2 TOTAL: 42,383 M2		1.4.1.2 (A)	1.4.1.2 (A)																																																												
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: 0		1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4																																																												
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16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.8	9.5.2																																																												
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3	BUILDING AREA (sq.m.) NEW: 49,269 M2 TOTAL: 49,269 M2		1.4.1.2 (A)	1.4.1.2 (A)																																																											
4	GROSS AREA (sq.m.) NEW: 49,269 M2 TOTAL: 49,269 M2		1.4.1.2 (A)	1.4.1.2 (A)																																																											
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4	GROSS AREA (sq.m.) NEW: 42,912 M2 TOTAL: 42,912 M2		1.4.1.2 (A)	1.4.1.2 (A)																																																											
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17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2 & 3.3.1.19	9.10.1.3 (4)																																																											
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19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS <table border="1"> <thead> <tr> <th>WALL</th> <th>AREA OF EBF (sq. m.)</th> <th>LD. (m)</th> <th>L/H OR H/L</th> <th>PERMITTED MAX. % OF OPENINGS</th> <th>PROPOSED % OF OPENINGS</th> <th>FRR (HOURS)</th> <th>LISTED DESIGN No. OR DESCRIP.</th> <th>COMB. CONSTR.</th> <th>COMB. CONSTR. NONC. CLADDING</th> <th>NON-COMB. CONSTRUCTION</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>5700</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>SOUTH</td> <td>5700</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>EAST</td> <td>1447</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>WEST</td> <td>1447</td> <td>>15</td> <td>-</td> <td>100%</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </tbody> </table>	WALL	AREA OF EBF (sq. m.)	LD. (m)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN No. OR DESCRIP.	COMB. CONSTR.	COMB. CONSTR. NONC. CLADDING	NON-COMB. CONSTRUCTION	NORTH	5700	>15	-	100%	-	-	-	-	-	-	SOUTH	5700	>15	-	100%	-	-	-	-	-	-	EAST	1447	>15	-	100%	-	-	-	-	-	-	WEST	1447	>15	-	100%	-	-	-	-	-	-		3.2.3	9.10.14				
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WEST	1447	>15	-	100%	-	-	-	-	-	-																																																					
20	OTHERS (DESCRIBE)																																																														

WARE MALCOMB
 ARCHITECTURE CIVIL ENGINEERING
 PLANNING BRANDING
 INTERIORS BUILDING MEASUREMENT
 6220 Highway 7, Suite 300
 Vaughan, Ontario, L4H 0R1, Canada
 P 905.850.4696



**QUADREAL DIXIE
 NEN & NES -
 12489 & 12861 DIXIE RD,
 CALEDON, ONTARIO,
 CANADA, L7C 2K5**

DATE	REMARKS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

SHEET
G021

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE KEPT ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

SITE STATISTICS - 12861 DIXIE ROAD

Existing Zoning Category	MP	AT
Proposed Zoning Category	MP	MP
Building Classification	Group F2 (O.B.C. A-3.1.2.1(f))	
NET DEVELOPABLE AREA	4,899,303 SF	455,100.02m ²
GROSS SITE AREA	6,271,193 SF	582,098.42m ²
Zone Permitted Use (Town of Caledon Zoning By-law 2006-50)	Industrial	
Proposed Use	Industrial	
Section 8.3 - Zoning Standards - MP Zone		

BUILDING AREA:		
BUILDING 1 (12861 DIXIE RD)	1,084,548 SF	100,757.96 m ²
Warehouse Area	1,084,548 SF	98,337.63 m ²
Office Area	23,901 SF	2,426.27 m ²
BUILDING 2 (12861 DIXIE RD)	946,791 SF	87,861.36 m ²
Warehouse Area	922,222 SF	85,492.12 m ²
Office Area	24,569 SF	2,369.24 m ²
TOTAL BUILDING AREA	2,031,346 SF	188,719.37 m²
NET FLOOR AREA:		
BUILDING 1 (12861 DIXIE RD)	1,084,548 SF	100,651.28 m ²
Floor Area	1,084,548 SF	100,757.96 m ²
Building Area under services, M&E rooms etc.	1,148 SF	106.68 m ²
BUILDING 2 (12861 DIXIE RD)	946,791 SF	87,861.36 m ²
Floor Area	946,791 SF	87,861.36 m ²
Building Area under services, M&E rooms etc.	1,066 SF	99.00 m ²
TOTAL NET AREA	2,029,131 SF	188,512.63 m²

SITE STATISTICS - 12489 DIXIE ROAD

Existing Zoning Category	MP	AT
Proposed Zoning Category	MP	MP
Building Classification	Group F2 (O.B.C. A-3.1.2.1(f))	
NET DEVELOPABLE AREA	3,445,017 SF	320,052.83m ²
GROSS SITE AREA	6,257,235 SF	581,318.71m ²
Zone Permitted Use (Town of Caledon Zoning By-law 2006-50)	Industrial	
Proposed Use	Industrial	
Section 8.3 - Zoning Standards - MP Zone		

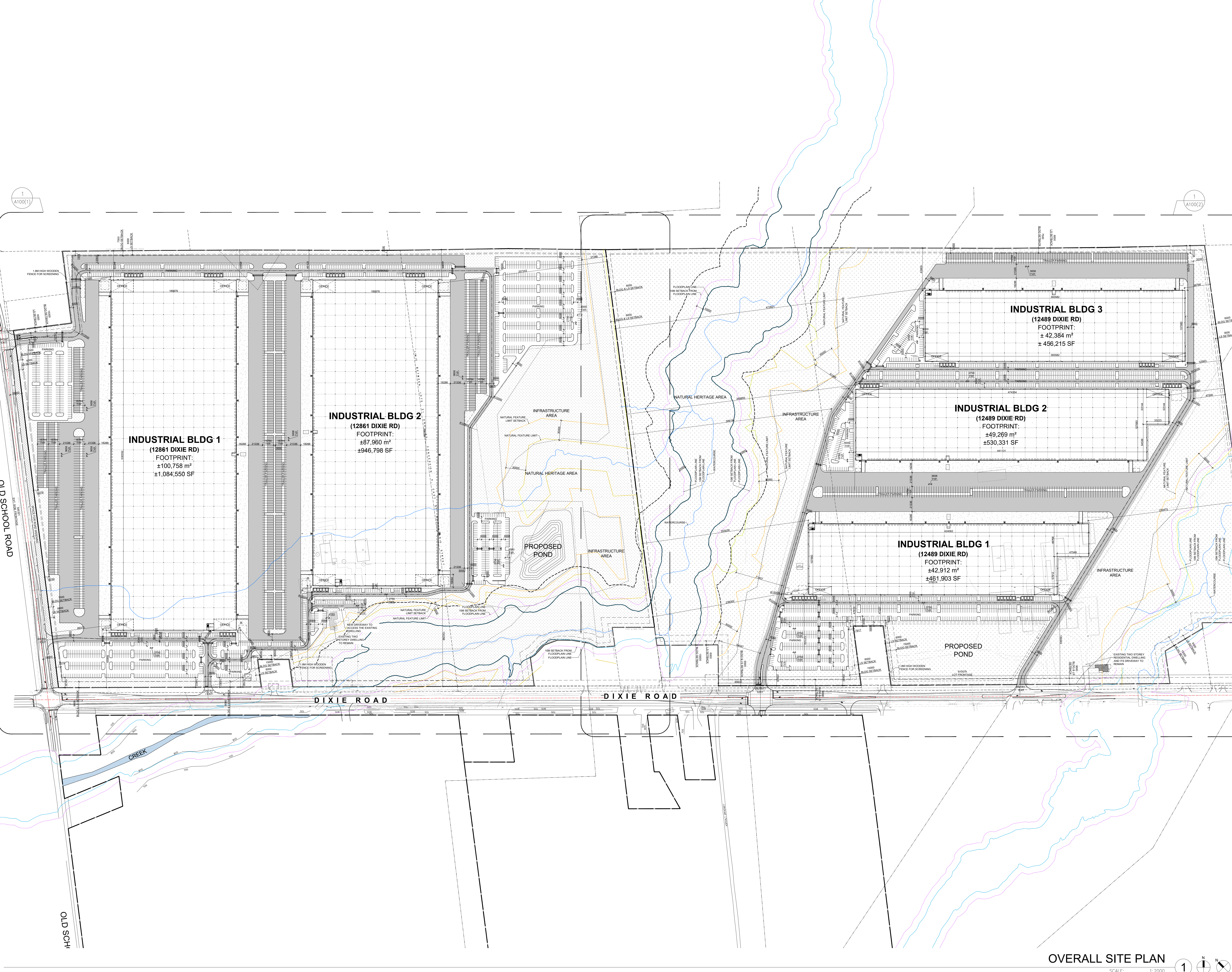
BUILDING AREA:		
BUILDING 1 (12489 DIXIE RD)	461,902 SF	42,912.18 m ²
Warehouse Area	452,428 SF	42,032.84 m ²
Office Area	9,474 SF	879.24 m ²
BUILDING 2 (12489 DIXIE RD)	530,331 SF	49,269.39 m ²
Warehouse Area	520,992 SF	48,401.18 m ²
Office Area	9,339 SF	867.64 m ²
BUILDING 3 (12489 DIXIE RD)	466,214 SF	43,383.74 m ²
Warehouse Area	456,756 SF	42,543.14 m ²
Office Area	9,458 SF	879.24 m ²
TOTAL BUILDING AREA	1,464,647 SF	134,565.32 m²
NET FLOOR AREA:		
BUILDING 1 (12489 DIXIE RD)	460,852 SF	42,814.63 m ²
Floor Area	461,902 SF	42,912.18 m ²
Building Area under services, M&E rooms etc.	1,050 SF	97.55 m ²
BUILDING 2 (12489 DIXIE RD)	529,281 SF	49,171.85 m ²
Floor Area	530,331 SF	49,269.39 m ²
Building Area under services, M&E rooms etc.	1,050 SF	97.55 m ²
BUILDING 3 (12489 DIXIE RD)	466,214 SF	43,286.19 m ²
Floor Area	466,214 SF	43,383.74 m ²
Building Area under services, M&E rooms etc.	1,050 SF	97.55 m ²
TOTAL NET AREA	1,464,297 SF	134,272.67 m²

Requirements

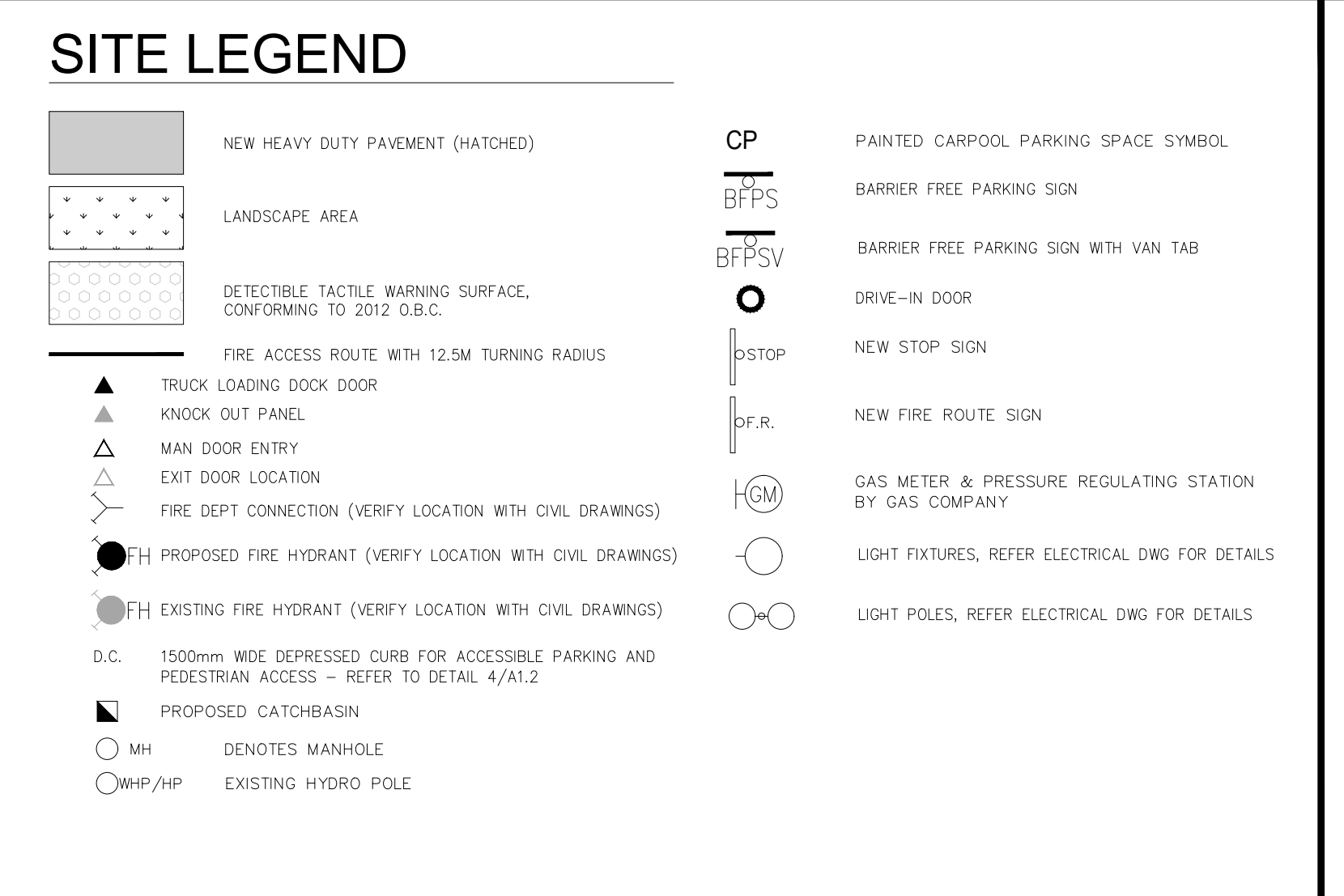
Min. Lot Area	581,318.71m ²	Proposed	Required
Net Floor Area	1,342,272.67m ²		
Gross Floor Area	1,342,272.67m ²		
Building Area	1,342,272.67m ²	50.00%	50.00%
Min. Lot Frontage (m)	610.58	30.00	30.00
Min. Front Yard Building Setback (m)	155.56	6.00	6.00
Min. In-Side (N) Yard Building Setback (m)	238.30	6.00	6.00
Min. In-Side (S) Yard Building Setback (m)	387.77	6.00	6.00
Min. In-Side (W) Yard Building Setback (m) - Abutting Residential	47.29	15.00	15.00
Min. Rear Yard Building Setback (m)	63.96	7.50	7.50
Min. Coverage	32.15%	50.00%	50.00%
Maximum Building Height (m) - BUILDING 1 (12489 DIXIE RD)	14.50	18.00	18.00
Maximum Building Height (m) - BUILDING 2 (12489 DIXIE RD)	14.50	18.00	18.00
Min. Landscape Area (% of Lot Area)	54.57%	10.00%	10.00%
Min. Landscape Area (SM)	317,244.45m ²	58,137.67m ²	58,137.67m ²
Min. Front Landscape Buffer (m)	24.43	9.00	9.00
Min. In-Side (N) Side Landscape Buffer (m)	64.55	6.00	6.00
Min. In-Side (S) Side Landscape Buffer (m)	203.53	3.00	3.00
Min. Rear Landscape Buffer (m)	7.49	6.00	6.00
Min. Landscape Buffer (m) - Abutting EPA - 6m width	61.45	-	-

Parking Calculations

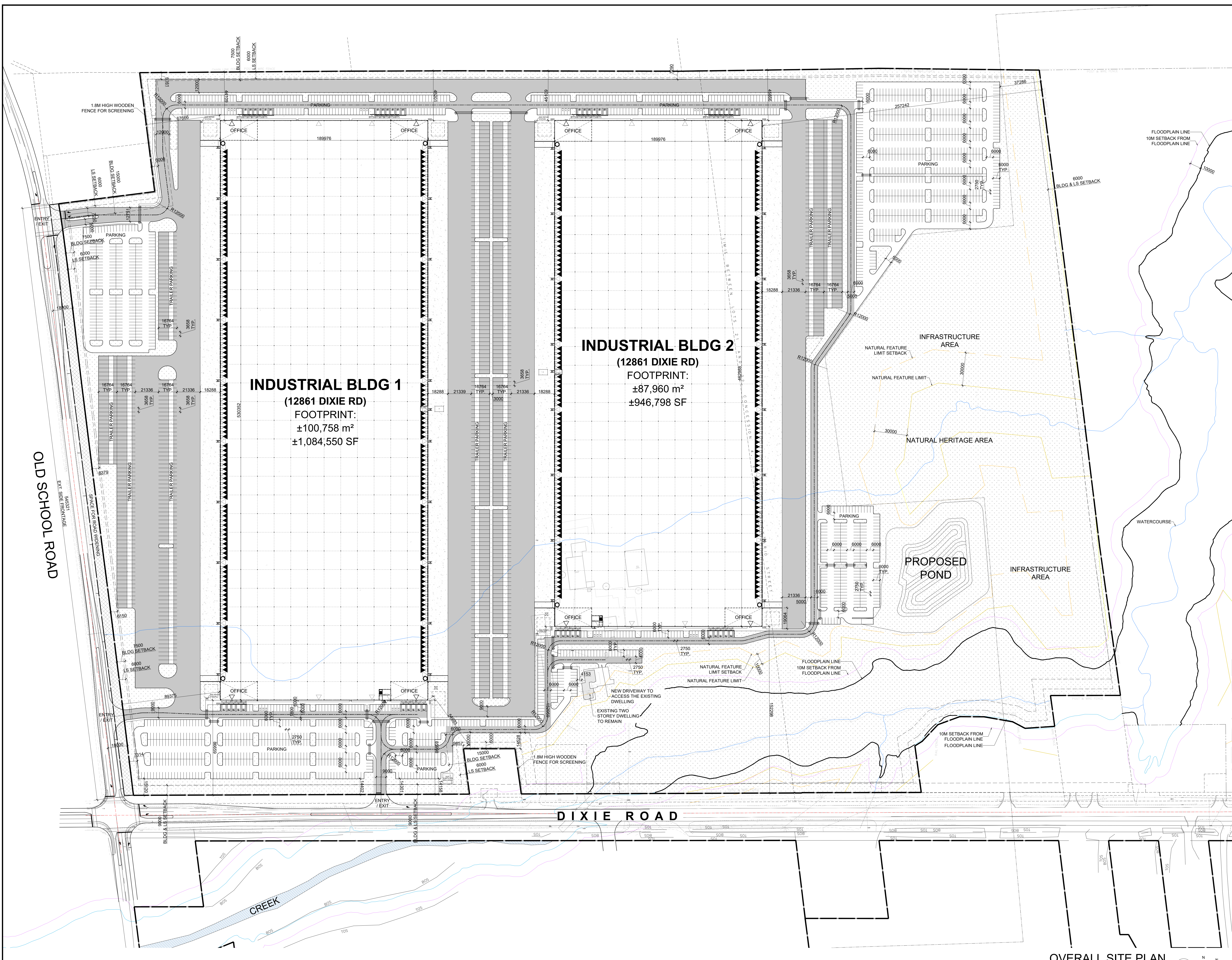
BUILDING 1 (12489 DIXIE RD)	Proposed	Required
② 139 + 1/170m ² of Net Floor Area over 10,000 m ²	795	333
BUILDING 2 (12489 DIXIE RD)		
② 139 + 1/170m ² of Net Floor Area over 10,000 m ²	413	370
BUILDING 3 (12489 DIXIE RD)		
② 139 + 1/170m ² of Net Floor Area over 10,000 m ²	366	320
Total no. of Parking Spaces (Including Accessible Parking Spaces)	1669	1023



- GENERAL NOTES**
- PROPERTY LINE
 - 2750x6000 PARKING STALL, PAINTED PARKING STRIPING PER CITY STANDARDS WITH 6M WIDE DOUBLE LOADED AISLE.
 - PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
 - TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS, TO HAVE (2) TYPE B (2750x6000)(2) TYPE A STALLS (3400x6000) OR ONE OF EACH WITH 15000MM PATH STRIP BETWEEN - REFER TO TOWN OF CALEDON'S ACCESSIBLE PARKING STANDARDS.
 - 15000MM WIDE CURB TYPICAL
 - MIN. 1500MM WIDE SIDEWALK TYPICAL UNID
 - TRAILER PARKING STALL - 12'-0" X 55'-0"
 - ACCESSIBLE CURB RAMP AS PER DETAIL
 - FIRE DEPARTMENT CONNECTION / SIAMNESS
 - PROPOSED LOCATION OF TRANSFORMER C/W CONCRETE PAD
 - 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUIV. ALONG DEVELOPMENT LIMIT BOUNDARY
 - CONCRETE APRON
 - LANDSCAPE AREA - SEE LANDSCAPE DWGS.
 - PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
 - EXTENDOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
 - TRUCK LOADING DOCK (TYPICAL)
 - LOADING SPACE - L.S. (MIN. 3.5m x 14.0m)
 - FIRE ACCESS ROUTE W/ 12M TURNING RADIUS
 - PROPOSED ELECTRICAL ROOM
 - PROPOSED MECHANICAL ROOM
 - CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010 - SEE CIVIL DWGS.
 - 1.8M WIDE PAINTED PEDESTRIAN PATHWAY
 - HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
 - 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
 - ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
 - INVERTED U-SHAPE GALVANIZED BICYCLE RACKS
 - MIN. 1.8Mx0.6M PER SPACE
 - PROPOSED STOP SIGN LOCATION
 - PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
 - YELLOW PAINTED LINES
 - RETAINING WALL
 - PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS.
 - PROPOSED FIRE ROUTE SIGN LOCATION
 - RESERVED
 - PROPOSED AMENITY AREA
 - SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
 - PROPOSED CHAIN-LINK FENCE
 - CONCRETE/STEEL SAFETY BOLLARD
 - SCREEN WALL
 - PROPOSED Pylon SIGNAGE
 - DRIVE-IN RAMP WITH GALVANIZED QUADRAIL ON EACH SIDE.
 - HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
 - RESERVED
 - DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
 - MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
 - ACCESSIBLE PARKING AREA SLOPING UP TO MEET PROPOSED CURB LEVEL
 - NEW HEAVY DUTY PAVEMENT (HATCHED)
 - LANDSCAPE AREA
 - DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
 - FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS
 - TRUCK LOADING DOCK DOOR
 - KNOCK OUT PANEL
 - MAN DOOR ENTRY
 - EXIT DOOR LOCATION
 - FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
 - PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
 - EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
 - 1500MM WIDE DEPRESSION CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL A.14.2
 - PROPOSED CATBUSH
 - WH DENOTES MANHOLE
 - MHP/MP EXISTING HYDRO POLE
 - CP PAINTED CARPOOL PARKING SPACE SYMBOL
 - BPFS BARRIER FREE PARKING SIGN
 - BPFSV BARRIER FREE PARKING SIGN WITH VAN TAB
 - DRIVE-IN DOOR
 - NEW STOP SIGN
 - NEW FIRE ROUTE SIGN
 - GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY
 - LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS
 - LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS



OVERALL SITE PLAN
 SCALE: 1:2000



SITE STATISTICS		A1
Existing Zoning Category		MP
Proposed Zoning Category		Group P2 (G & C, A-1, 1.1, 1.1)
Building Classification		4,895,303 SF 455,180 sqm
NET DEVELOPABLE AREA		6,271,978 SF 582,686 sqm
GROSS SITE AREA		6,271,978 SF 582,686 sqm
Zone Permitted Use (Town of Caledon Zoning By-law 2008-50)		Industrial
Proposed Use		Industrial
Section 8.3 - Zoning Standards - MP Zone		
BUILDING AREA:		
BUILDING 1	1,084,549 SF	100,757.86 m ²
Warehouse Area	1,084,549 SF	100,757.86 m ²
Office Area	25,907 SF	2,406.27 m ²
BUILDING 2	846,737 SF	87,861.38 m ²
Warehouse Area	920,229 SF	85,492.72 m ²
Office Area	26,568 SF	2,468.28 m ²
TOTAL BUILDING AREA	2,031,346 SF	188,719.37 m ²
NET FLOOR AREA:		
BUILDING 1	1,083,400 SF	100,651.38 m ²
Floor Area	1,084,549 SF	100,757.86 m ²
Building Area under services, M&E rooms etc.	1,148 SF	106.88 m ²
BUILDING 2	845,731 SF	87,813.38 m ²
Floor Area	846,737 SF	87,960.42 m ²
Building Area under services, M&E rooms etc.	7,068 SF	65.58 m ²
TOTAL NET AREA	2,029,131 SF	188,514.63 m ²
Requirements		
Min. Lot Area	582,686 sqm	925,00m ²
Net Floor Area	1,888,512 sqm ²	-
Gross Floor Area	1,988,718.37m ²	-
Building Area	32.38%	50.00%
Min. Lot Frontage (m)	91.81	30.00
Min. Front Yard Building Setback (m)	89.00	9.00
Min. Ext. Side Yard Building Setback (m)	89.38	7.50
Min. Int. Side Yard Building Setback (m)	237.24	6.00
Min. Int. Side Yard Building Setback (m) - Abutting Residential	54.99	15.00
Min. Rear Yard Building Setback (m)	44.11	7.50
Lot Coverage	32.39%	50.00%
Maximum Building Height (m) - Building 1	18.01	18.00
Maximum Building Height (m) - Building 2	18.01	18.00
Maximum Building Height (m) - Building 2	18.01	18.00
Min. Landscape Area (% of Lot Area)	30.59%	10.00%
Min. Landscape Area (SM)	178,267.16m ²	58,268.64m ²
Min. Front Landscape Buffer (m)	14.18	9.00
Min. Ext. Side Landscape Buffer (m)	6.15	6.00
Min. Int. Side Landscape Buffer (m)	6.00	6.00
Min. Rear Landscape Buffer (m)	6.16	6.00
Min. Landscape Buffer (m) - Abutting EPA > 6m width	37.29	-
Parking Calculations		
	Proposed	Required
BUILDING 1	910	872
BUILDING 2	1082	597
Total no. of Parking Spaces (including Accessible Parking Spaces)	1992	1469
Accessible Parking Spaces		
@ 201 to 1000 parking spaces is 2 plus 2% of total spaces		
@ More than 1000 parking spaces is 11 plus 1% of total spaces		
BUILDING 1	22	15
BUILDING 2	22	14
Total no. of Accessible Parking Spaces	44	29
	22 Type - A	14 Type - A
	22 Type - B	15 Type - B
	24	-
EV Parking Spaces		
	Proposed	Required
BUILDING 1	300	-
BUILDING 2	241	-
Total no. of Trailer Parking Spaces	541	-
Loading Space Calculations		
	Proposed	Required
BUILDING 1	211	13
BUILDING 2	183	12
@ 3 + 1 per 9300 m ² in excess of 1441 m ² of Net Floor Area	394	25
Total no. of Loading Spaces	394	25
Min. Loading Space Dimensions	3.5m(W) X 14.0m(L) X 2.5m(H)	-

WARE MALCOLM
 ARCHITECTURE - CIVIL ENGINEERING
 INTERIORS
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 Vaughan, ON L4L 1V1
 P: 905.760.1221

INDUSTRIAL BLDG 2
 (12861 DIXIE RD)
 FOOTPRINT:
 ±87,960 m²
 ±946,798 SF

INDUSTRIAL BLDG 1
 (12861 DIXIE RD)
 FOOTPRINT:
 ±100,758 m²
 ±1,084,550 SF

OVERALL SITE PLAN
 SCALE: 1:1200

GENERAL NOTES

- 1 PROPERTY LINE
- 2 2750x6000 PARKING STALL, PAINTED PARKING STRIPING PER CITY STANDARDS WITH 6M WIDE DOUBLE LOADED AISLE.
- 3 PRINCIPLE ENTRY - 15Mx15M TIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 4 TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS. TO HAVE (2) TYPE B (2750x6000), (2) TYPE A STALLS (3400x6000) OR ONE OF EACH WITH 1500mm PATH STRIP BETWEEN - REFER TO TOWN OF CALEDON'S ACCESSIBLE PARKING STANDARDS.
- 5 1500mm WIDE CURB TYPICAL
- 6 MIN. 1500mm WIDE SIDEWALK TYPICAL U/L/D
- 7 TRAILER PARKING STALL - 12'-0" X 55'-0"
- 8 ACCESSIBLE CURB RAMP AS PER DETAIL
- 9 FIRE DEPARTMENT CONNECTION / SIAMSS
- 10 PROPOSED LOCATION OF TRANSFORMER G/W CONCRETE PAD
- 11 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY CONCRETE APRON
- 12 LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- 14 PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
- 15 EXTENSION STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- 16 TRUCK LOADING DOCK (TYPICAL)
- 17 LOADING SPACE - L.S. (MIN. 3.5m X 14.0m)
- 18 FIRE ACCESS ROUTE W/ 12M TURNING RADIUS
- 19 PROPOSED ELECTRICAL ROOM
- 20 PROPOSED MECHANICAL ROOM
- 21 CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010 - SEE CIVIL DWGS.
- 22 1.8M WIDE PAINTED PEDESTRIAN PATHWAY
- 23 HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TYPICAL ACCESS.
- 24 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
- 25 ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
- 26 INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE
- 27 PROPOSED STOP SIGN LOCATION
- 28 PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
- 29 YELLOW PAINTED LINES
- 30 RETAINING WALL
- 31 PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS.
- 32 PROPOSED FIRE ROUTE SIGN LOCATION
- 33 RESERVED
- 34 PROPOSED AMENITY AREA
- 35 SNOW STORAGE ON SITE AT 2% TOTAL SITE AREA
- 36 PROPOSED CHAIN-LINK FENCE
- 37 CONCRETE/STEEL SAFETY BOLLARD
- 38 SCREEN WALL
- 39 PROPOSED Pylon SIGNAGE
- 40 DRIVE-IN RAMP WITH GALVANIZED QUADRAL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %
- 41 RESERVED
- 42 DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- 43 MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
- 44 ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- LANDSCAPE AREA
- DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
- FIRE ACCESS ROUTE WITH 12.5M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- KNOCK OUT PANEL
- MAN DOOR ENTRY
- EXIT DOOR LOCATION
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- 1500mm WIDE DEPRESSION CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS - REFER TO DETAIL A14.2
- PROPOSED CATCHBASIN
- WH DENOTES MANHOLE
- WH/HP EXISTING HYDRO POLE
- CP PAINTED CARPOOL PARKING SPACE SYMBOL
- BFP/S BARRIER FREE PARKING SIGN
- BFP/PSV BARRIER FREE PARKING SIGN WITH VAN TAB
- DRIVE-IN DOOR
- NEW STOP SIGN
- NEW FIRE ROUTE SIGN
- GAS METER & PRESSURE REGULATING STATION BY GAS COMPANY
- LIGHT FIXTURES, REFER ELECTRICAL DWG FOR DETAILS
- LIGHT POLES, REFER ELECTRICAL DWG FOR DETAILS

QUADREAL PROPERTY GROUP
 TOWN OF CALEDON DIXIE ROAD
 12489 & 12861 DIXIE ROAD
 CALEDON, ONTARIO CANADA

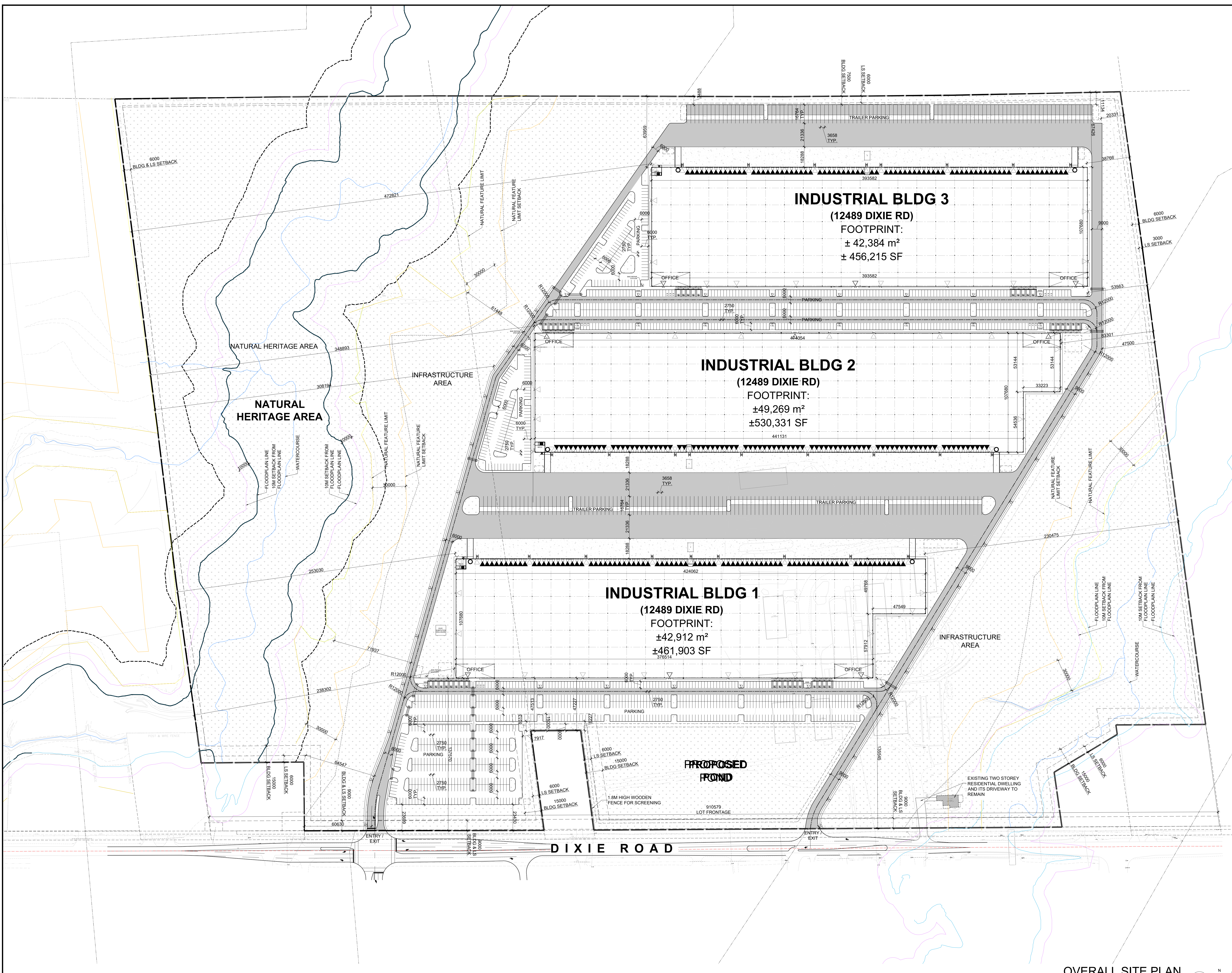
SITE PLAN - 12861 DIXIE RD

DATE: 2024-12-02
 ISSUED FOR PERMIT: 2024-12-02
 REVISION FOR PERMIT: 2024-12-02

PA/PM: SK
 DRAWN BY: JS
 JOB NO.: TOR22-0060-01

SHEET
A100(1)

VICINITY MAP
 SCALE: NOT TO SCALE



SITE STATISTICS		MP	
Existing Zoning Category	MP	A1	
Proposed Zoning Category	MP	Group F2 (O.B.C. A-3.1.2.1 (1))	
Building Classification	3,445,017 SF	300,052.83m ²	
NET DEVELOPABLE AREA	6,257,235 SF	581,316.71m ²	
GROSS SITE AREA			
Zone Permitted Use (Town of Caledon Zoning By-law 2006-50)	Industrial		
Proposed Use			
Section 8.3 - Zoning Standards - MP Zone			

BUILDING AREA:		MP	
BUILDING 1	481,902 SF	42,912.18 m ²	
Warehouse Area	452,438 SF	42,022.14 m ²	
Office Area	9,464 SF	879.24 m ²	
BUILDING 2	530,331 SF	49,269.39 m ²	
Warehouse Area	500,993 SF	46,407.76 m ²	
Office Area	9,339 SF	867.64 m ²	
BUILDING 3	456,214 SF	42,383.74 m ²	
Warehouse Area	446,750 SF	41,504.50 m ²	
Office Area	9,464 SF	879.24 m ²	
TOTAL BUILDING AREA	1,468,447.62 m²	134,565.32 m²	

NET FLOOR AREA:		MP	
BUILDING 1	480,852 SF	42,814.63 m ²	
Floor Area	441,902 SF	42,022.14 m ²	
Building Area under services, M&E rooms etc.	1,050 SF	97.55 m ²	
BUILDING 2	529,281 SF	49,171.85 m ²	
Floor Area	500,993 SF	46,407.76 m ²	
Building Area under services, M&E rooms etc.	1,050 SF	97.55 m ²	
BUILDING 3	455,164 SF	42,286.19 m ²	
Floor Area	446,754 SF	42,383.74 m ²	
Building Area under services, M&E rooms etc.	1,050 SF	97.55 m ²	
TOTAL NET AREA	1,465,297.62 m²	134,272.67 m²	

Requirements		Proposed		Required	
Min. Lot Area	581,316.71 m ²	581,316.71 m ²	581,316.71 m ²	581,316.71 m ²	581,316.71 m ²
Net Floor Area	134,272.67 m ²	134,272.67 m ²	134,272.67 m ²	134,272.67 m ²	134,272.67 m ²
Gross Floor Area	134,565.32 m ²	134,565.32 m ²	134,565.32 m ²	134,565.32 m ²	134,565.32 m ²
Building Area	23.15%	23.15%	50.00%	23.15%	50.00%
Min. Lot Frontage (m)	910.98	910.98	30.00	910.98	30.00
Min. Front Yard Building Setback (m)	135.55	135.55	9.00	135.55	9.00
Min. Int. Side (N) Yard Building Setback (m)	238.30	238.30	6.00	238.30	6.00
Min. Int. Side (S) Yard Building Setback (m)	38.77	38.77	6.00	38.77	6.00
Min. Int. Side Yard Building Setback (m) - Abutting Residential	47.23	47.23	15.00	47.23	15.00
Min. Rear Yard Building Setback (m)	63.96	63.96	7.60	63.96	7.60
Lot Coverage	23.15%	23.15%	50.00%	23.15%	50.00%
Maximum Building Height (m) - Building 1	14.50	14.50	18.00	14.50	18.00
Maximum Building Height (m) - Building 2	14.50	14.50	18.00	14.50	18.00
Min. Landscape Area (% of Lot Area)	54.57%	54.57%	10.00%	54.57%	10.00%
Min. Landscape Area (SQ)	317,444.45m ²	317,444.45m ²	58,131.67m ²	317,444.45m ²	58,131.67m ²
Min. Front Landscape Buffer (m)	23.43	23.43	9.00	23.43	9.00
Min. Int. (N) Side Landscape Buffer (m)	64.55	64.55	6.00	64.55	6.00
Min. Int. (S) Side Landscape Buffer (m)	20.33	20.33	3.00	20.33	3.00
Min. Rear Landscape Buffer (m)	7.49	7.49	6.00	7.49	6.00
Min. Landscape Buffer (m) - Abutting EPA > 6m width	61.45	61.45	-	61.45	-

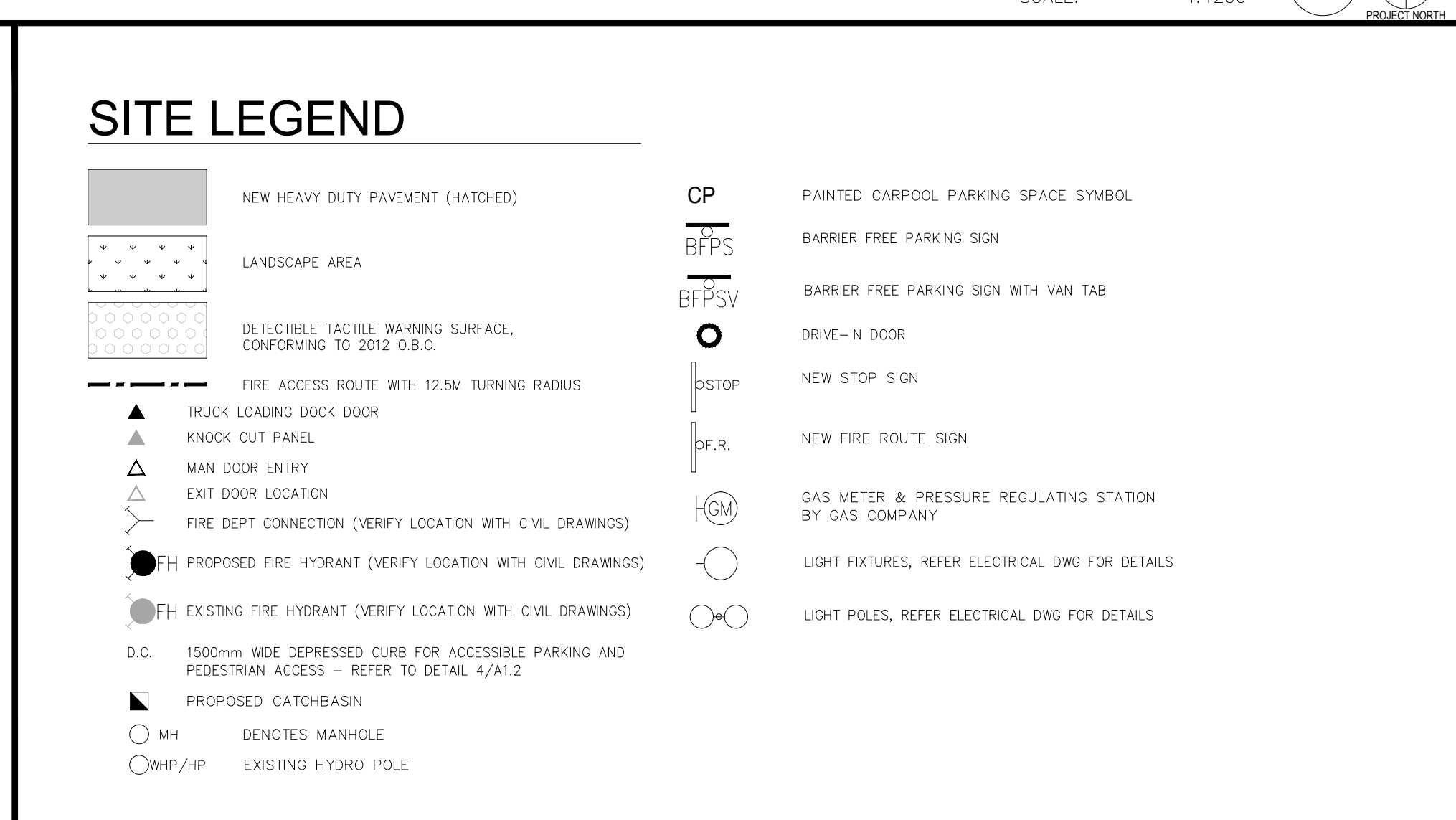
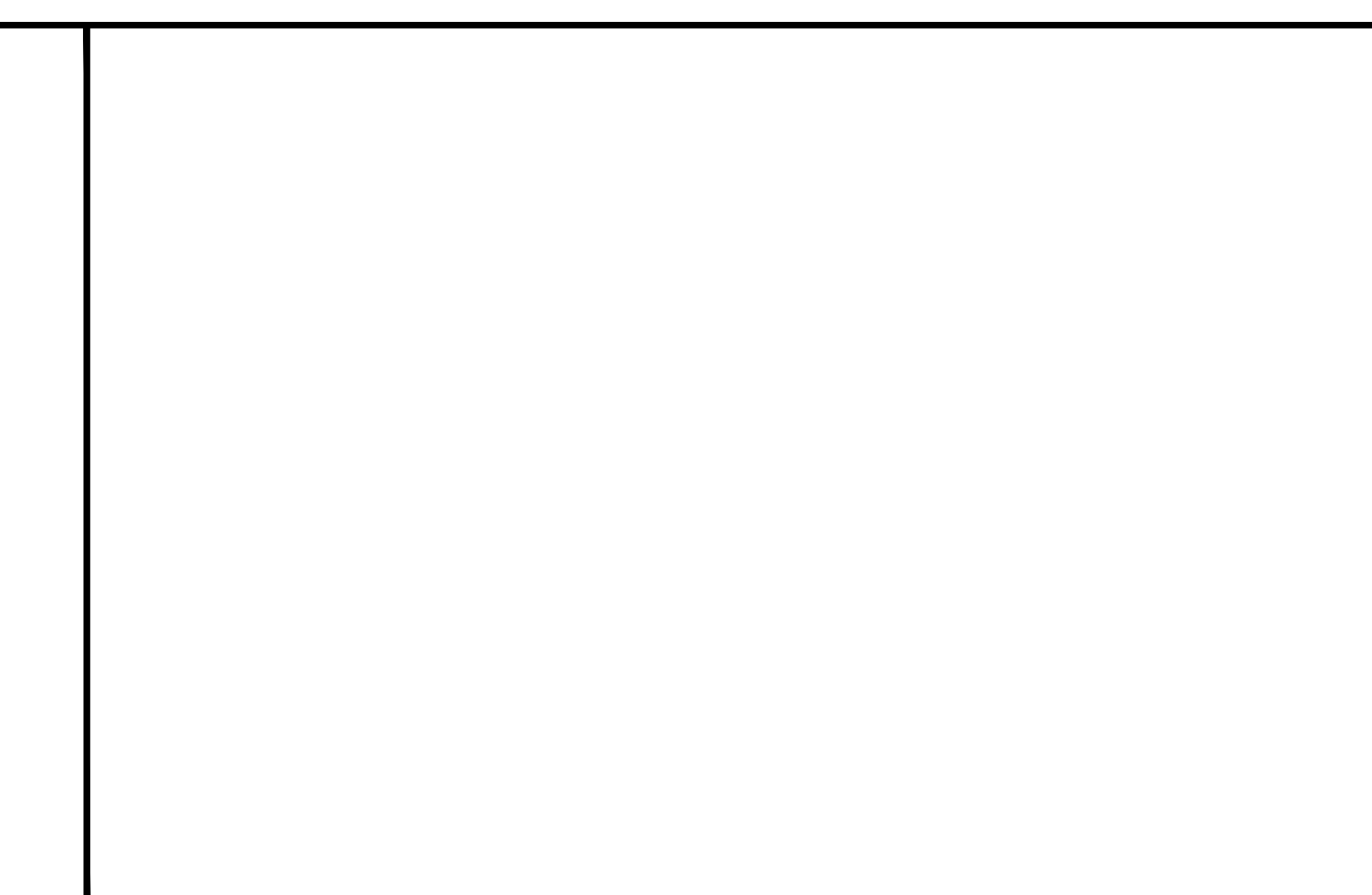
Parking Calculations		Proposed		Required	
BUILDING 1	@ 139 + 1/170m ² of Net Floor Area over 10,000 m ²	795	333		
BUILDING 2	@ 139 + 1/170m ² of Net Floor Area over 10,000 m ²	413	370		
BUILDING 3	@ 139 + 1/170m ² of Net Floor Area over 10,000 m ²	398	329		
Total no. of Parking Spaces	Including Accessible Parking Spaces	1606	1032		

Accessible Parking Spaces		Proposed		Required	
BUILDING 1	@ 201 + 1000 parking spaces is 2 plus 2% of total spaces	18	9		
BUILDING 2	@ 201 + 1000 parking spaces is 2 plus 2% of total spaces	12	9		
BUILDING 3	@ 201 + 1000 parking spaces is 2 plus 2% of total spaces	10	9		
Total no. of Accessible Parking Spaces	40 Type - A, 13 Type - B, 30 Type - E, 14 Type - F	40	27		

EV Parking Spaces		Proposed		Required	
BUILDING 1	24	24	24		
BUILDING 2	24	24	24		
BUILDING 3	24	24	24		
Total no. of EV Parking Spaces	72	72	72		

Loading Space Calculations		Proposed		Required	
BUILDING 1	@ 3 + 1 per 9300 m ² in excess of 7461 m ² of Net Floor Area	85	7		
BUILDING 2	@ 3 + 1 per 9300 m ² in excess of 7461 m ² of Net Floor Area	87	7		
BUILDING 3	@ 3 + 1 per 9300 m ² in excess of 7461 m ² of Net Floor Area	77	7		
Total no. of Loading Spaces	249	21	21		
Min. Loading Space Dimensions	3.5m(W) X 14.0m(L) X 3.5m(H)				

- ### GENERAL NOTES
- PROPERTY LINE
 - 2750x6000 PARKING STALL, PAINTED PARKING STRIPING PER CITY STANDARDS WITH 6M WIDE DOUBLE LOADED AISLE.
 - PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
 - TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY STANDARDS, TO HAVE (2) TYPE B (2750x6000)(2) TYPE A STALLS (3400x6000) OR ONE OF EACH WITH 1500MM PAIR STRIP BETWEEN - REFER TO TOWN OF CALEDON'S ACCESSIBLE PARKING STANDARDS.
 - 1500mm WIDE CURB TYPICAL
 - MIN. 1500mm WIDE SIDEWALK TYPICAL UN-D
 - TRAILER PARKING STALL - 12'-0" X 55'-0"
 - ACCESSIBLE CURB RAMP AS PER DETAIL
 - FIRE DEPARTMENT CONNECTION / SIAMSS
 - PROPOSED LOCATION OF TRANSFORMER G/W CONCRETE PAD 1.8m HIGH BLACK VINYL CHAIN LINK FENCING OR APPROVED EQUAL ALONG DEVELOPMENT LIMIT BOUNDARY CONCRETE APRON
 - LANDSCAPE AREA - SEE LANDSCAPE DWGS.
 - PEDESTRIAN RAIL (1070mm HIGH) SET INTO RETAINING WALL WHERE GRADE CHANGE GREATER THAN 600mm. PROVIDE CONCRETE-FILLED STEEL BOLLARD AT END OF RETAINING WALL - SEE CIVIL DWGS.
 - EXTENSION STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
 - TRUCK LOADING DOCK (TYPICAL)
 - LOADING SPACE - L.S. (MIN. 3.5m x 14.0m)
 - FIRE ACCESS ROUTE W/ 12M TURNING RADIUS
 - PROPOSED ELECTRICAL ROOM
 - PROPOSED MECHANICAL ROOM
 - CURB RADI AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO CONFORM TO OPSD 350.010 - SEE CIVIL DWGS.
 - 1.8M WIDE PAINTED PEDESTRIAN PATHWAY
 - HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS.
 - 15.0m CENTERLINE RADIUS DISTANCE TO FIRE ACCESS ROAD
 - ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR AT EACH ENTRANCE.
 - INVERTED U-SHAPE GALVANIZED BICYCLE RACKS MIN. 1.8Mx0.6M PER SPACE
 - PROPOSED STOP SIGN LOCATION
 - PRESSED PATTERNED ASPHALT PEDESTRIAN PATHWAY
 - YELLOW PAINTED LINES
 - RETAINING WALL
 - PRECAST SCREEN WALL TO BE INSTALLED ON TOP OF RETAINING WALL - REFER TO STRUC. DWGS.
 - PROPOSED FIRE ROUTE SIGN LOCATION
 - RESERVED
 - DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
 - MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
 - ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL
 - SCREEN WALL
 - PROPOSED PYLON SIGNAGE
 - DRIVE-IN RAMP WITH GALVANIZED QUADRAIL ON EACH SIDE. SEE CIVIL DWGS FOR SLOPE %
 - RESERVED
 - DETECTIBLE TACTILE WARNING SURFACE, CONFORMING TO 2012 O.B.C.
 - MIN. 3m WIDE CONCRETE DOLLY PAD AT TRAILER STALLS
 - ACCESSIBLE PARKING GRADE SLOPING UP TO MEET PROPOSED CURB LEVEL



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ARCHITECTURE CIVIL ENGINEERING
INTERIORS BUILDING MEASUREMENT

QUADREAL PROPERTY GROUP
TOWN OF CALEDON DIXIE ROAD
12489 DIXIE ROAD
CALEDON, ONTARIO CANADA

SITE PLAN - 12489 DIXIE RD

ISSUED FOR OPINION
1 2023-12-02
2 2024-01-02
3 2024-02-04
4 2024-02-04

REVISIONS

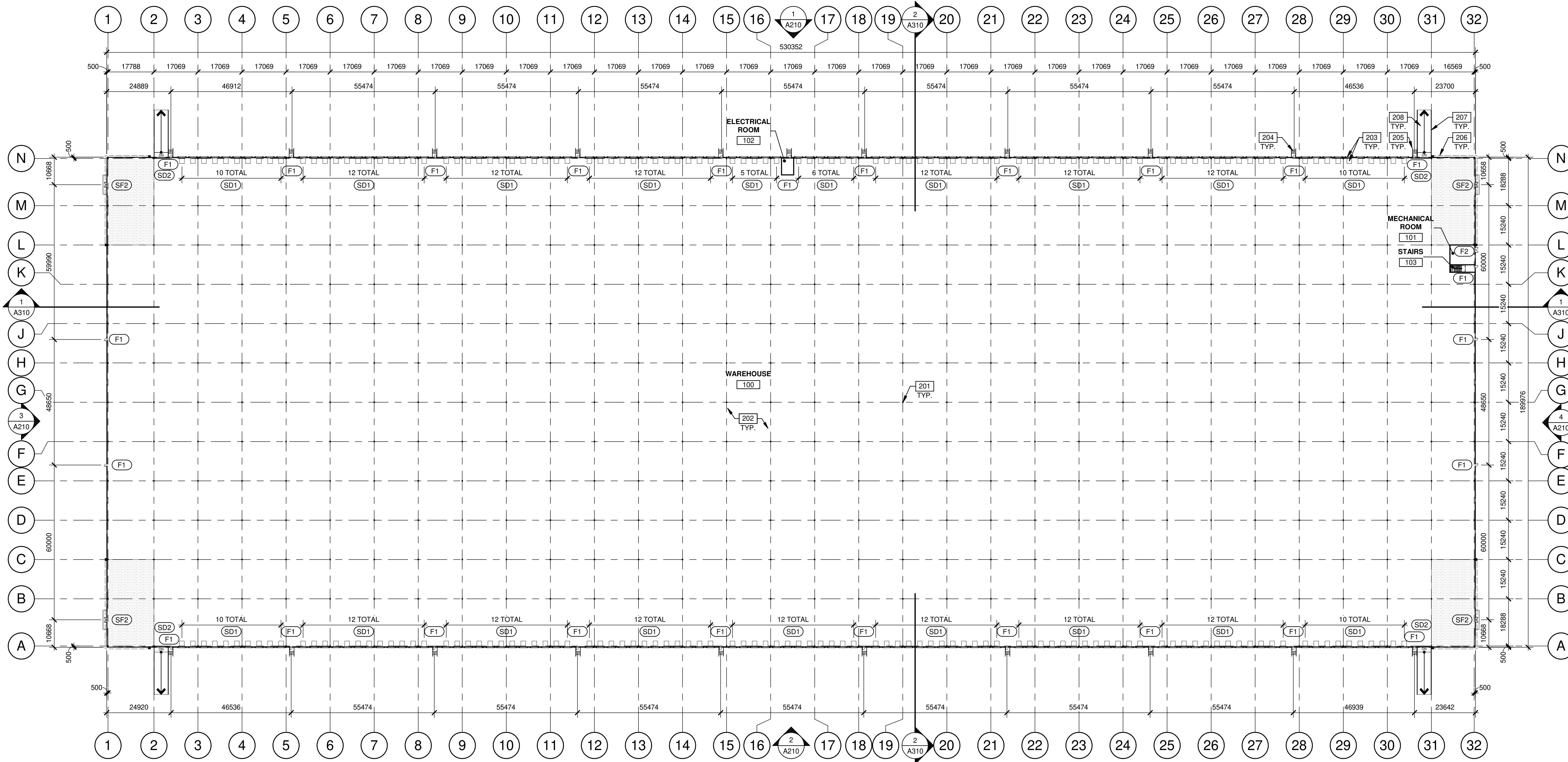
DATE

PA / PM: SK
DRAWN BY: JS
JOB NO.: TOR22-011-00

SHEET

A100(2)

VICINITY MAP
SCALE: NOT TO SCALE

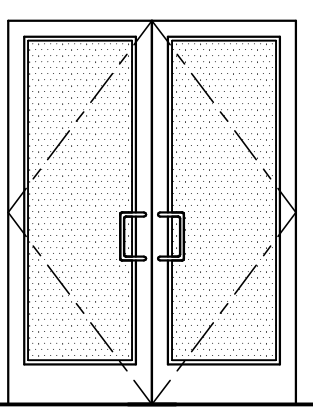
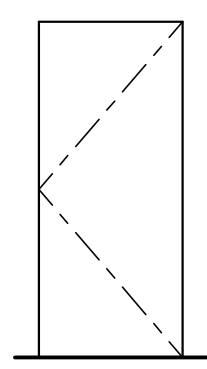


1:800
0 10m 20m 40m 80m

BUILDING 1 (12861 DIXIE RD) - FLOOR PLAN

SCALE: 1 : 800

DOOR TYPES

<p>(SF2) ALUMINUM STOREFRONT</p> 	<p>(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)</p> <p>FRAME: MANUFACTURER</p> <p>HARDWARE: 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL</p> <p>NOTE: WEATHERSEAL BY DOOR MANUFACTURER</p>	<p>(F1) HOLLOW METAL</p> <p>(F2)</p> 	<p>(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR</p> <p>FRAME: PAINTED HOLLOW METAL</p> <p>(F2) 1930mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR</p> <p>FRAME: PAINTED HOLLOW METAL</p> <p>HARDWARE: 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP</p>
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LEGEND

	PROPOSED FUTURE OFFICE AREA
	ARCHITECTURAL PRECAST PANEL
	ALUMINUM COMPOSITE PANEL SYSTEM
	INSULATED METAL PANEL SYSTEM

WALL LEGEND

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.

BUILDING 1 - FLOOR PLAN
12861 DIXIE RD

DATE	REVISIONS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	T.M. / O.T.
JOB NO.:	TOR22-0060-01

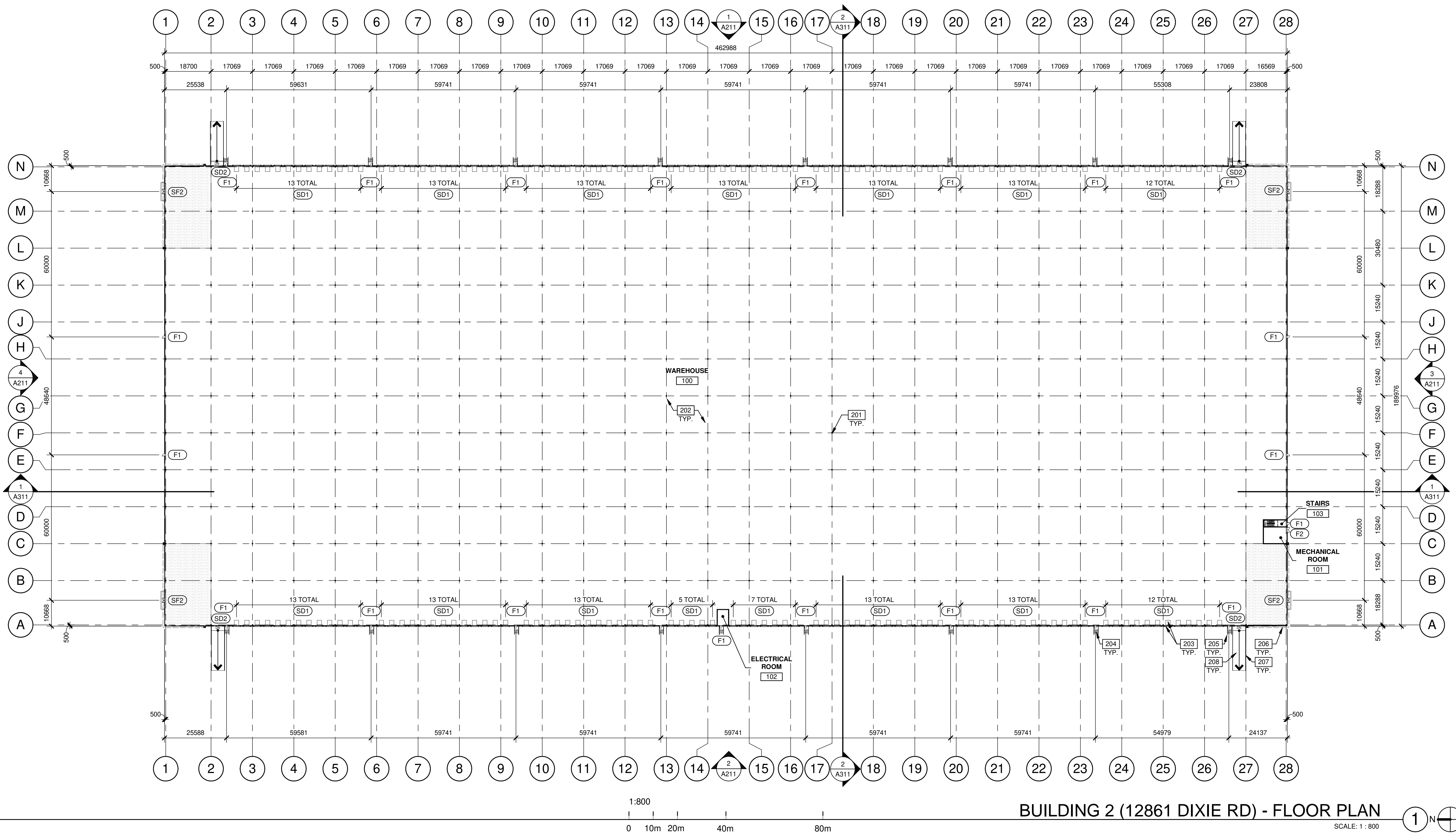
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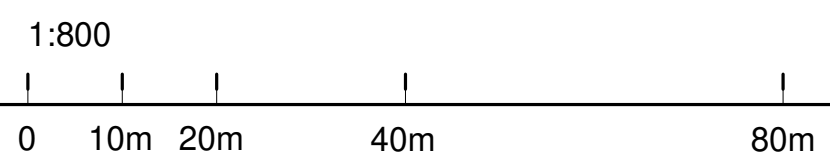
QUADREAL DIXIE
NEN & NES -
12489 & 12861 DIXIE RD,
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BUILDING 2 (12861 DIXIE RD) - FLOOR PLAN



DOOR TYPES

(SF2) ALUMINUM STOREFRONT

(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE)
FRAME: MANUFACTURER

(F1) HOLLOW METAL

(F2) 1930mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

(F2) 1930mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA EXIT DEVICE
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HVY DUTY FLOOR STOP

LEGEND

(SD1) SECTIONAL O.H. DOOR

(SD2) SECTIONAL O.H. DOOR

(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

WALL LEGEND

- ARCHITECTURAL PRECAST PANEL.
- ALUMINUM COMPOSITE PANEL SYSTEM.
- INSULATED METAL PANEL SYSTEM.

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.

BUILDING 2 - FLOOR PLAN
12861 DIXIE RD

DATE	ISSUED FOR	REVISIONS
2023-12-12	OPAZBA	ISSUED FOR OPAZBA
2024-10-16	OPAZBA	REISSUED FOR OPAZBA
2024-12-05	OPAZBA	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	T.M. / O.T.
JOB NO.:	TOR22-0060-01

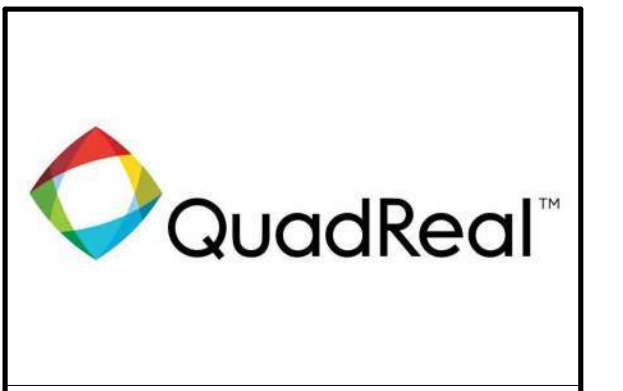
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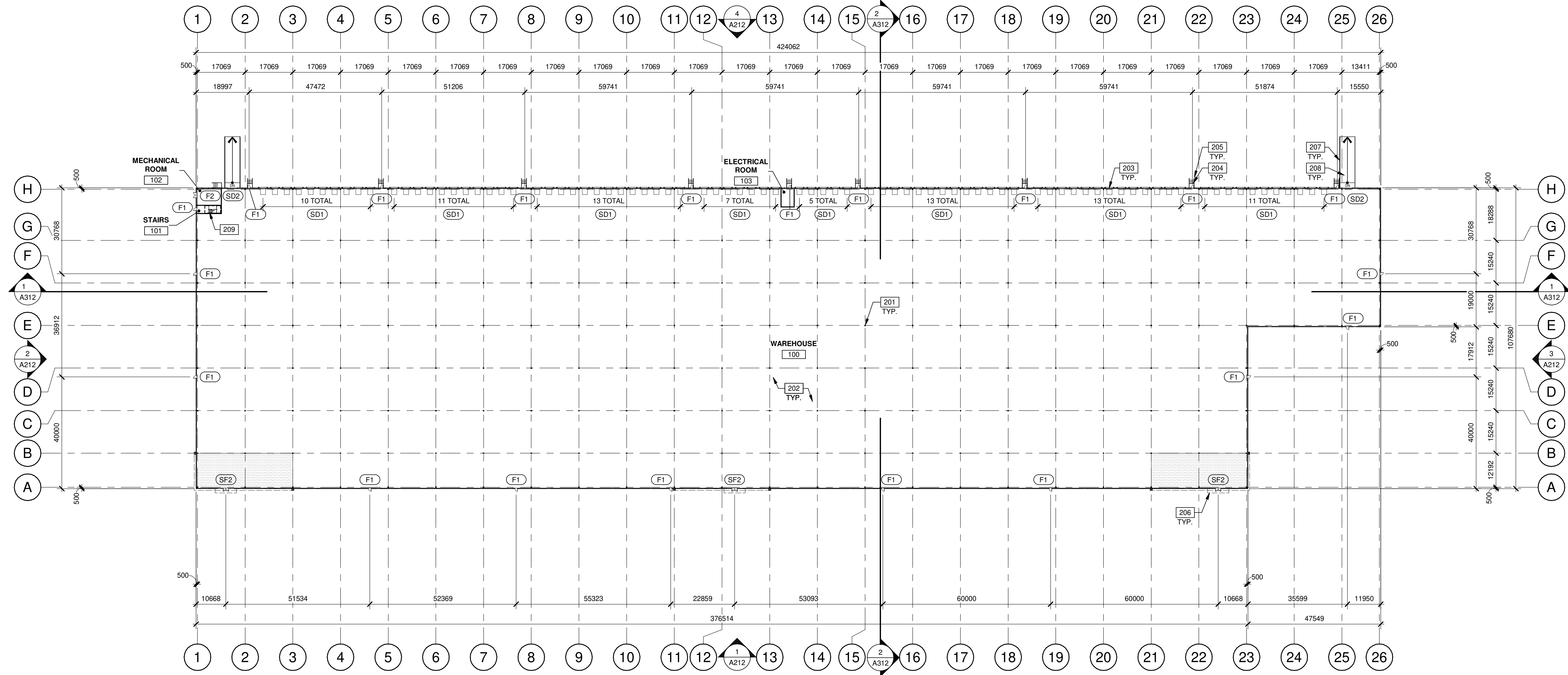
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QUADREAL DIXIE
NEN & NES -
12489 & 12861 DIXIE RD,
CALEDON, ONTARIO,
CANADA, L7C 2K5



1:750

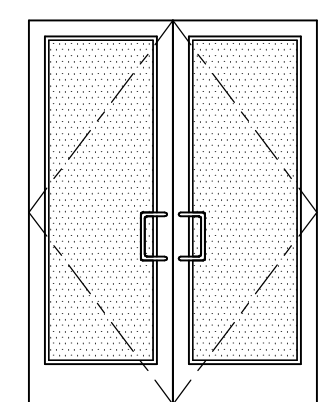
BUILDING 1 (12489 DIXIE RD) - FLOOR PLAN

SCALE: 1 : 750



DOOR TYPES

(SF2) ALUMINUM STOREFRONT



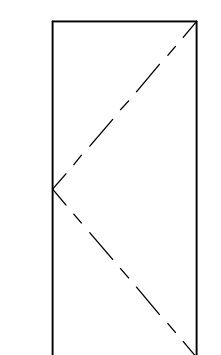
(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
 FRAME: MANUFACTURER

HARDWARE:
 2 SETS PIVOT SET
 2 SETS INTER PIVOT
 1 EA EXIT DEVICE
 1 EA MORTISE CYLINDER
 2 SETS OFFSET PULL
 2 EA OH CLOSER
 1 EA THRESHOLD
 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

(F1) HOLLOW METAL

(F2)



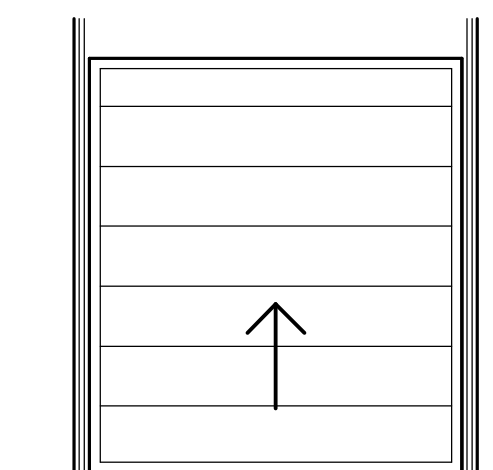
(F1) 965mm x 2135mm (PAIR) PAINTED INSULATED HOLLOW METAL DOOR
 FRAME: PAINTED HOLLOW METAL

(F2) 1930mm x 2135mm (PAIR) PAINTED INSULATED HOLLOW METAL DOOR
 FRAME: PAINTED HOLLOW METAL

HARDWARE:
 3 EA HINGES
 1 EA EXIT DEVICE
 1 EA CYLINDER
 1 EA CLOSER
 1 EA PERIMETER SEAL
 1 EA BOTTOM DRIP
 1 EA THRESHOLD
 1 EA LOCK GUARD
 1 EA HVY DUTY FLOOR STOP

(SD1) SECTIONAL O.H. DOOR

(SD2)



(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) 3660mm x 4880mm SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH

HARDWARE:
 1 EA SLIDE BOLT
 1 EA PAD LOCK

LEGEND

PROPOSED FUTURE OFFICE AREA

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 6'X8' HYDRAULIC DOCK LEVELER.
- 204 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 CONCRETE-FILLED STEEL BOLLARD. EXTERIOR BOLLARDS TO RECEIVE SAFETY YELLOW PLASTIC SLEEVE.
- 206 OUTLINE OF CANOPY ABOVE.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.
- 209 INTERIOR ROOF ACCESS METAL STAIR.

**BUILDING 1 - FLOOR PLAN
 12489 DIXIE RD**

DATE	REMARKS
2023-12-12	ISSUED FOR OPA/ZBA
2024-10-16	REISSUED FOR OPA/ZBA
2024-12-05	REISSUED FOR OPA/ZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

SHEET

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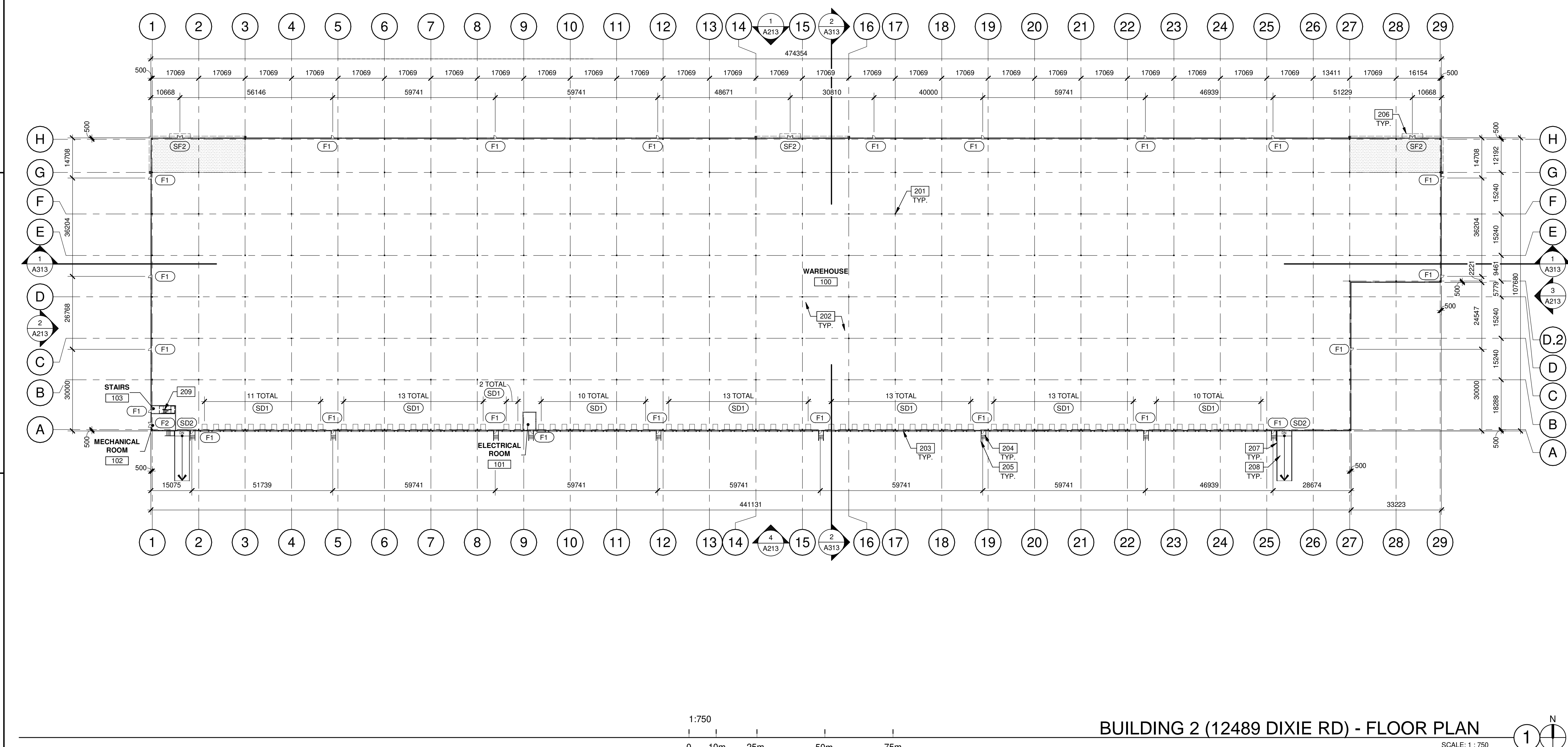
QUADREAL DIXIE
NEN & NES -
 12489 & 12861 DIXIE RD,
 CALEDON, ONTARIO,
 CANADA, L7C 2K5

BUILDING 2 - FLOOR PLAN
 12489 DIXIE RD

DATE	REVISIONS
2023-12-12	ISSUED FOR OPA/ZBA
2024-10-16	REISSUED FOR OPA/ZBA
2024-12-05	REISSUED FOR OPA/ZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

SHEET
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DOOR TYPES

<p>(SF2) ALUMINUM STOREFRONT</p>	<p>(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE) FRAME: MANUFACTURER</p> <p>HARDWARE: 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA ON CLOSER 1 EA THRESHOLD 1 EA DECAL</p> <p>NOTE: WEATHERSEAL BY DOOR MANUFACTURER</p>	<p>(F1) HOLLOW METAL</p> <p>(F2)</p>	<p>(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p>(F2) 1930mm x 2135mm (PAIR) PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p>HARDWARE: 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP</p>
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LEGEND

<p>(SD1) SECTIONAL O.H. DOOR</p>	<p>(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.</p> <p>(SD2) 3660mm x 4880mm SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH</p>
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KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 6'X8' HYDRAULIC DOCK LEVELER.
- 204 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 CONCRETE-FILLED STEEL BOLLARD. EXTERIOR BOLLARDS TO RECEIVE SAFETY YELLOW PLASTIC SLEEVE.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.
- 209 INTERIOR ROOF ACCESS METAL STAIR.

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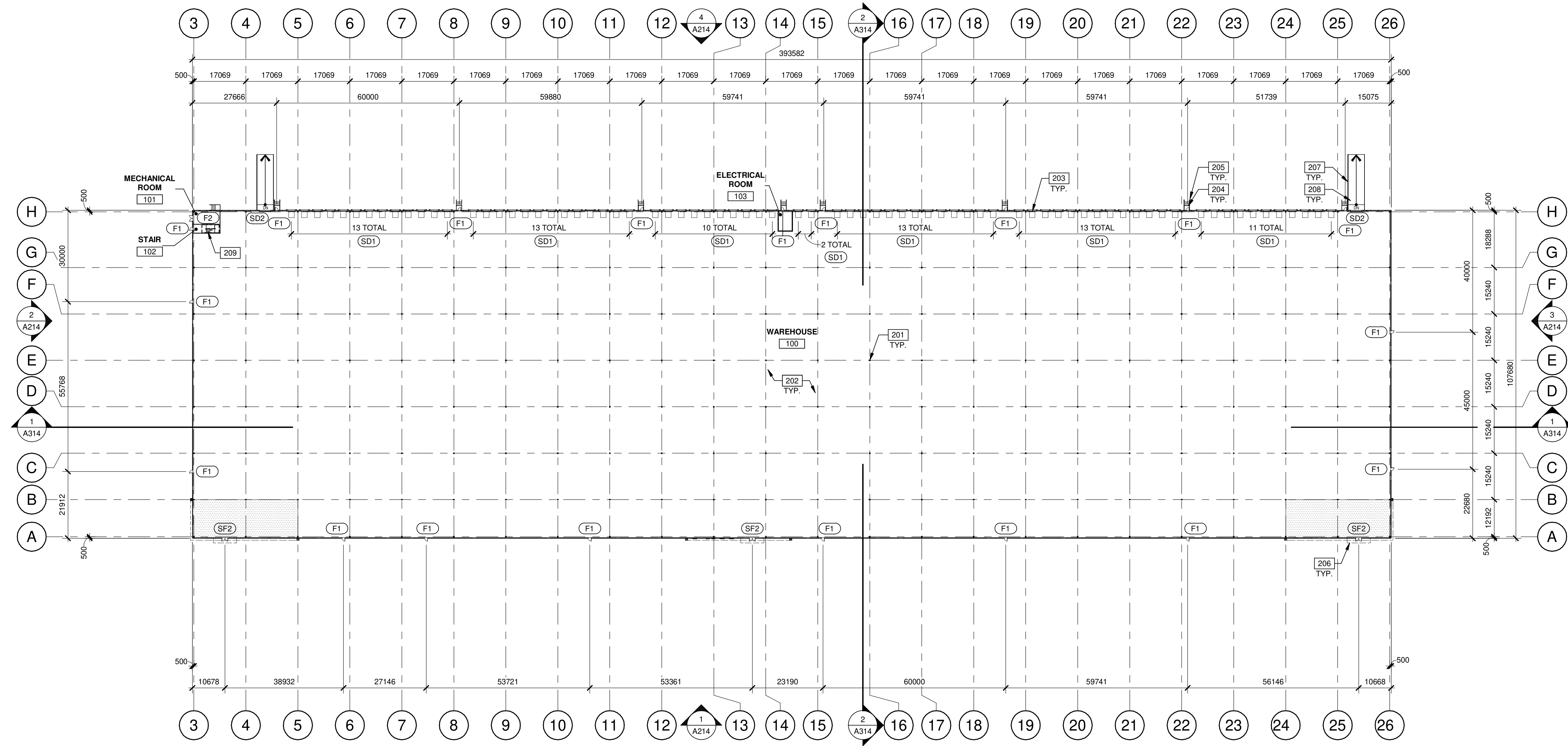
QUADREAL DIXIE
NEN & NES -
 12489 & 12861 DIXIE RD,
 CALEDON, ONTARIO,
 CANADA, L7C 2K5

BUILDING 3 - FLOOR PLAN
 12489 DIXIE RD

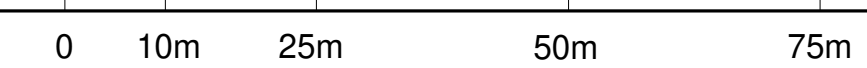
DATE	REVISIONS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

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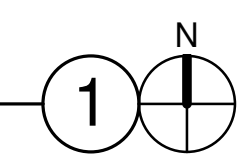


1:750



BUILDING 3 (12489 DIXIE RD) - FLOOR PLAN

SCALE: 1 : 750



DOOR TYPES

<p>(SF2) ALUMINUM STOREFRONT</p>	<p>(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STYLE) FRAME: MANUFACTURER</p> <p>HARDWARE: 2 SETS PIVOT SET 2 SETS INTER PIVOT 1 EA EXIT DEVICE 1 EA MORTISE CYLINDER 2 SETS OFFSET PULL 2 EA OH CLOSER 1 EA THRESHOLD 1 EA DECAL</p> <p>NOTE: WEATHERSEAL BY DOOR MANUFACTURER</p>	<p>(F1) HOLLOW METAL</p> <p>(F2)</p>	<p>(F1) 965mm x 2135mm (PAIR) PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p>(F2) 1930mm x 2135mm (PAIR) PAINTED INSULATED HOLLOW METAL DOOR FRAME: PAINTED HOLLOW METAL</p> <p>HARDWARE: 3 EA HINGES 1 EA EXIT DEVICE 1 EA CYLINDER 1 EA CLOSER 1 EA PERIMETER SEAL 1 EA BOTTOM DRIP 1 EA THRESHOLD 1 EA LOCK GUARD 1 EA HVY DUTY FLOOR STOP</p>
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LEGEND

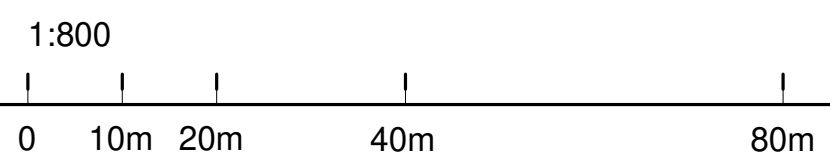
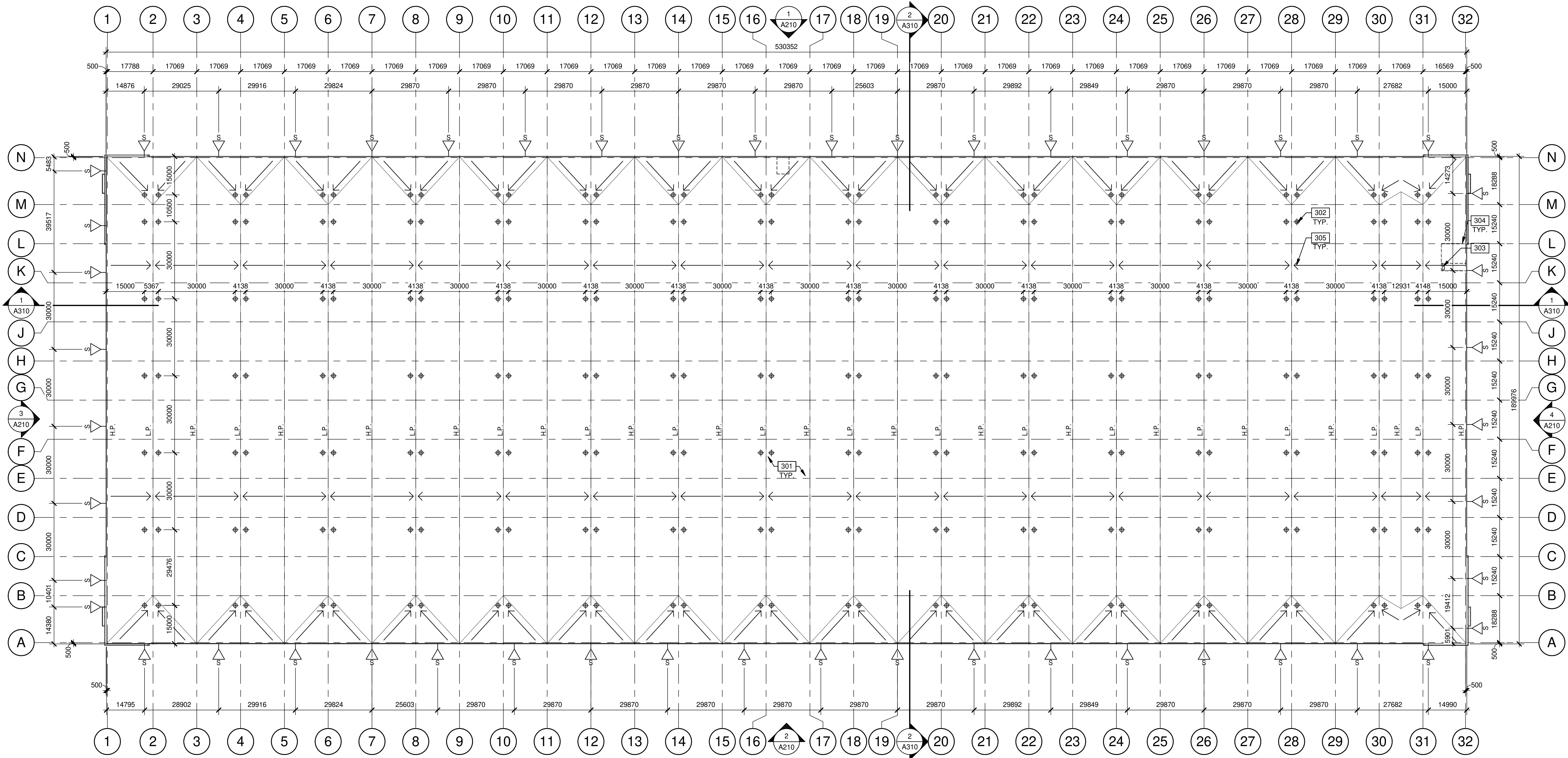
<p>(SD1) SECTIONAL O.H. DOOR</p>	<p>(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.</p> <p>(SD2) 3660mm x 4880mm SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH</p>	<p>(SD1) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.</p> <p>(SD2) 3660mm x 4880mm SECTIONAL OVERHEAD GRADE LEVEL TRUCK DOOR WITH FACTORY PAINTED FINISH</p> <p>HARDWARE: 1 EA SLIDE BOLT 1 EA PAD LOCK</p>
---	--	--

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 6'X8' HYDRAULIC DOCK LEVELER.
- 204 EXTERIOR STEEL STAIR. ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 CONCRETE-FILLED STEEL BOLLARD. EXTERIOR BOLLARDS TO RECEIVE SAFETY YELLOW PLASTIC SLEEVE.
- 206 CONCRETE RETAINING WALL.
- 207 CONCRETE RAMP.
- 208 CONCRETE RAMP.
- 209 INTERIOR ROOF ACCESS METAL STAIR.

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BUILDING 1 (12861 DIXIE RD) - ROOF PLAN

SCALE: 1 : 800

LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

- 301 TPO ROOFING SYSTEM.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

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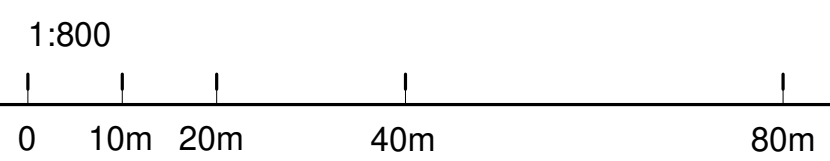
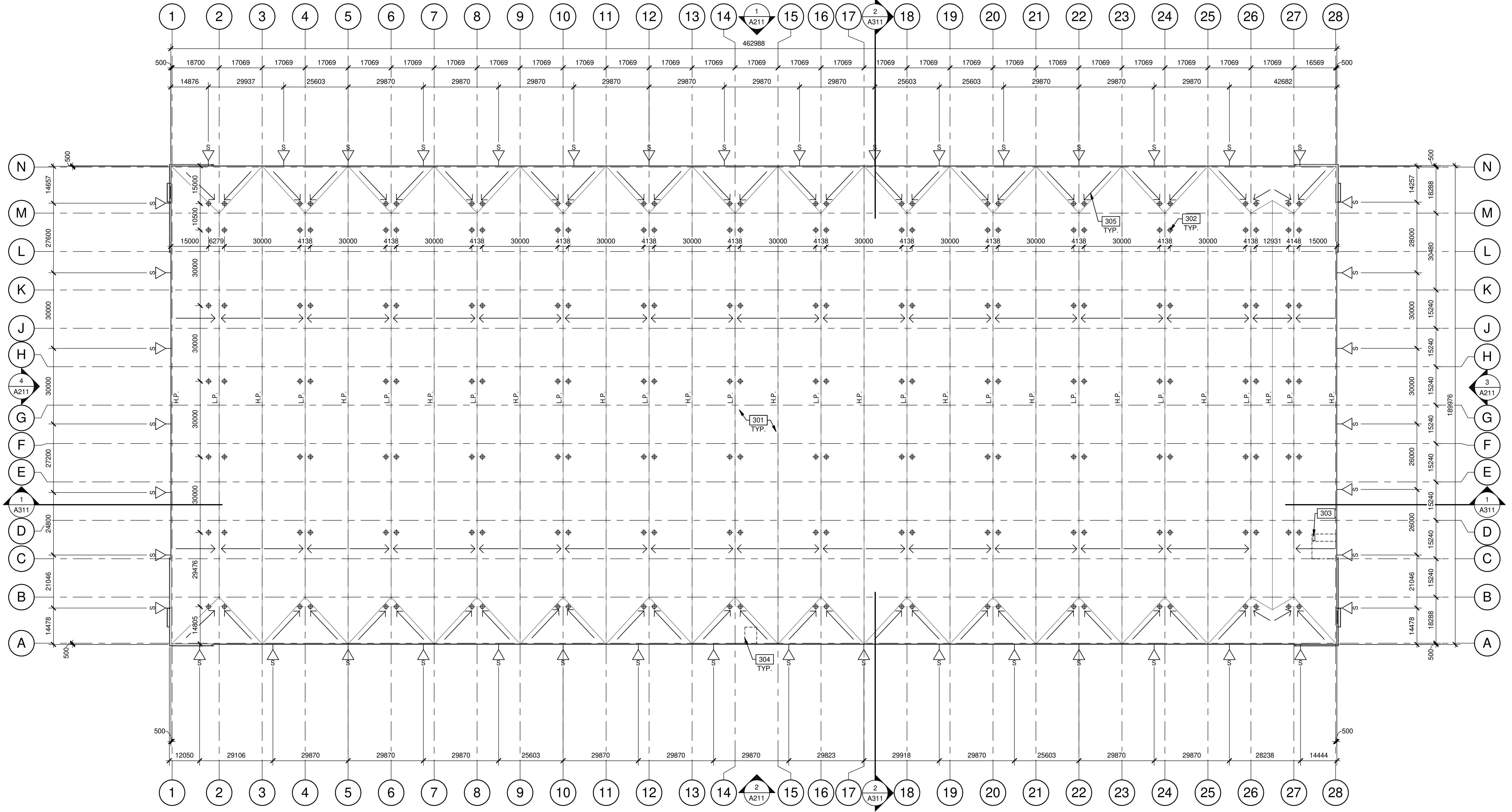
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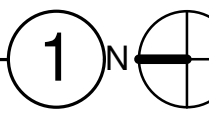
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BUILDING 2 (12861 DIXIE RD) - ROOF PLAN



LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

- 301 TPO ROOFING SYSTEM.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

**QUADREAL DIXIE
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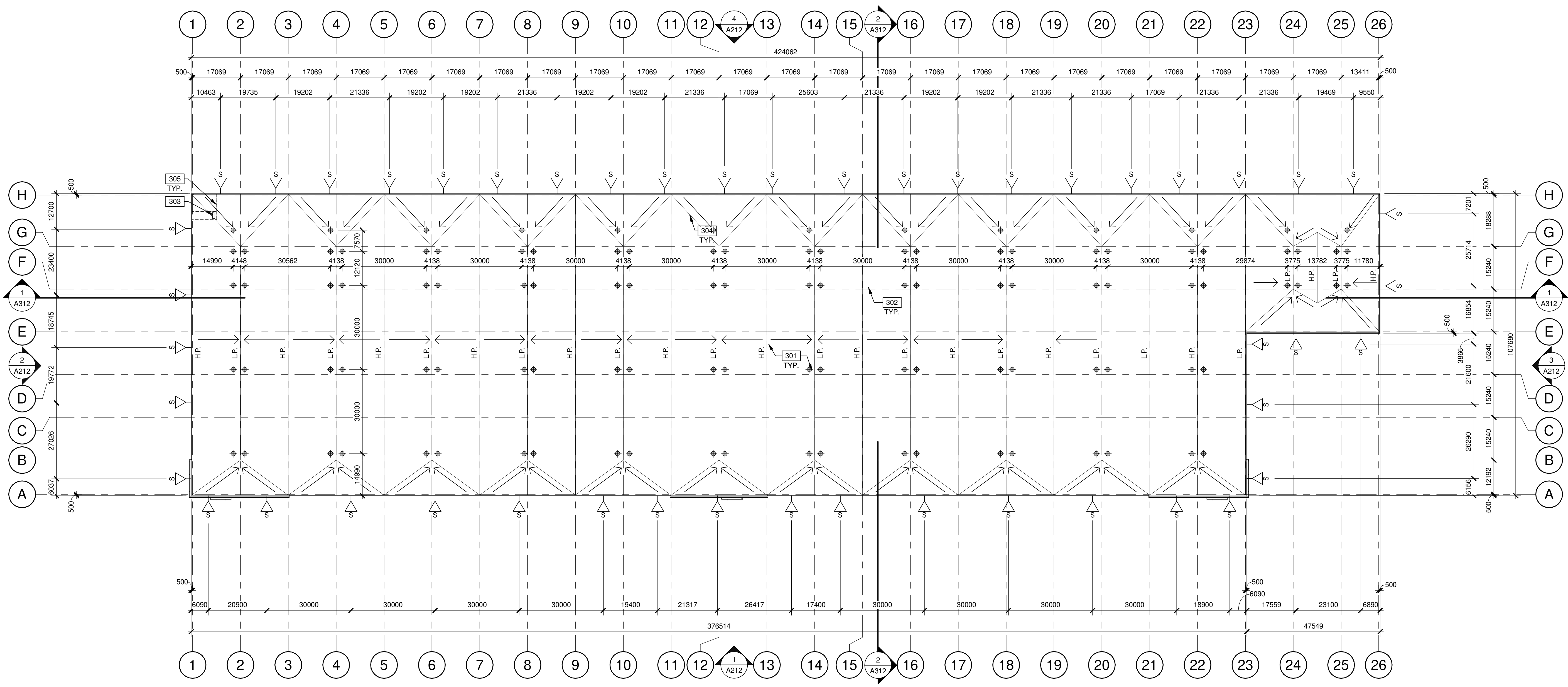
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BUILDING 1 (12489 DIXIE RD) - ROOF PLAN

SCALE: 1 : 750

LEGEND

- FLOW LINE TO DRAIN.
- ⊕ ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ▽ ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

- 301 TPO ROOFING SYSTEM.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 FLOW LINE TO DRAIN.
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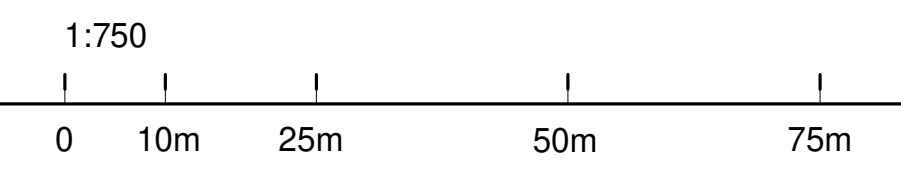
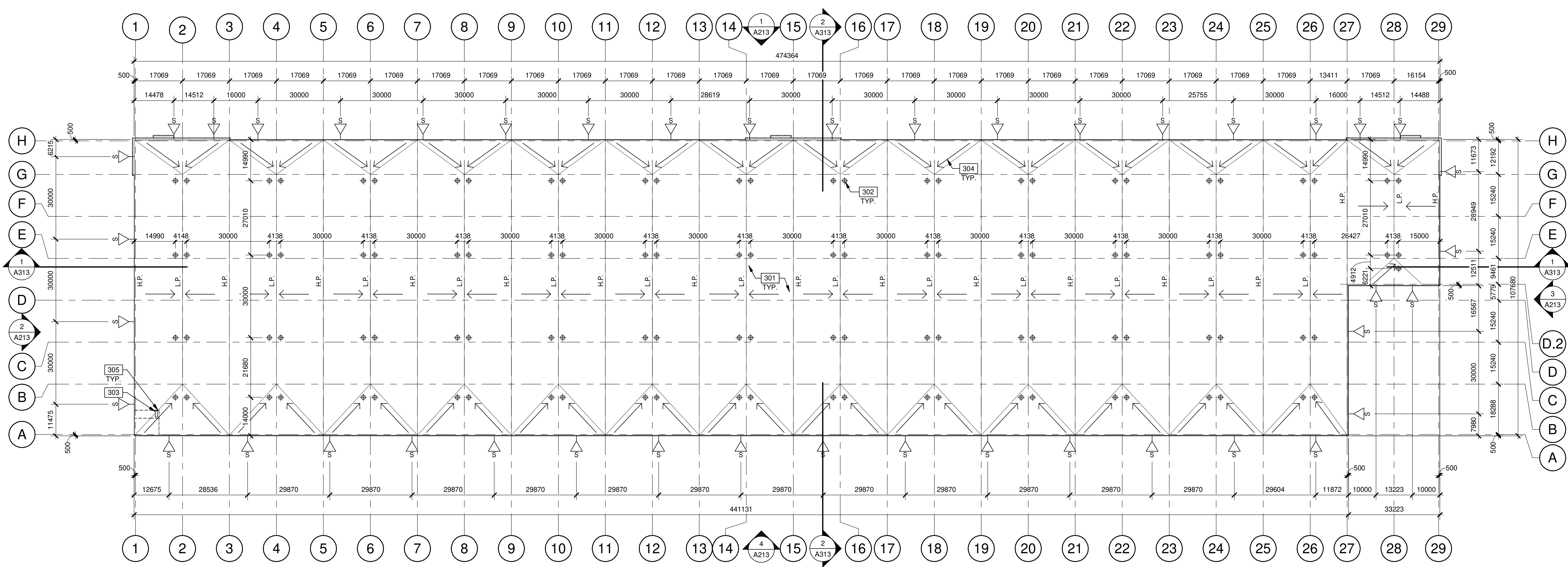


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BUILDING 2 (12489 DIXIE RD) - ROOF PLAN
 SCALE: 1 : 750

LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

- 301 TPO ROOFING SYSTEM.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 FLOW LINE TO DRAIN.
- 305 LINE OF WALL BELOW.

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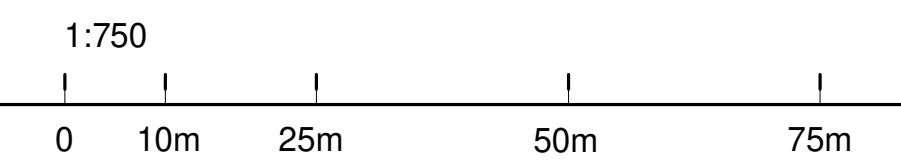
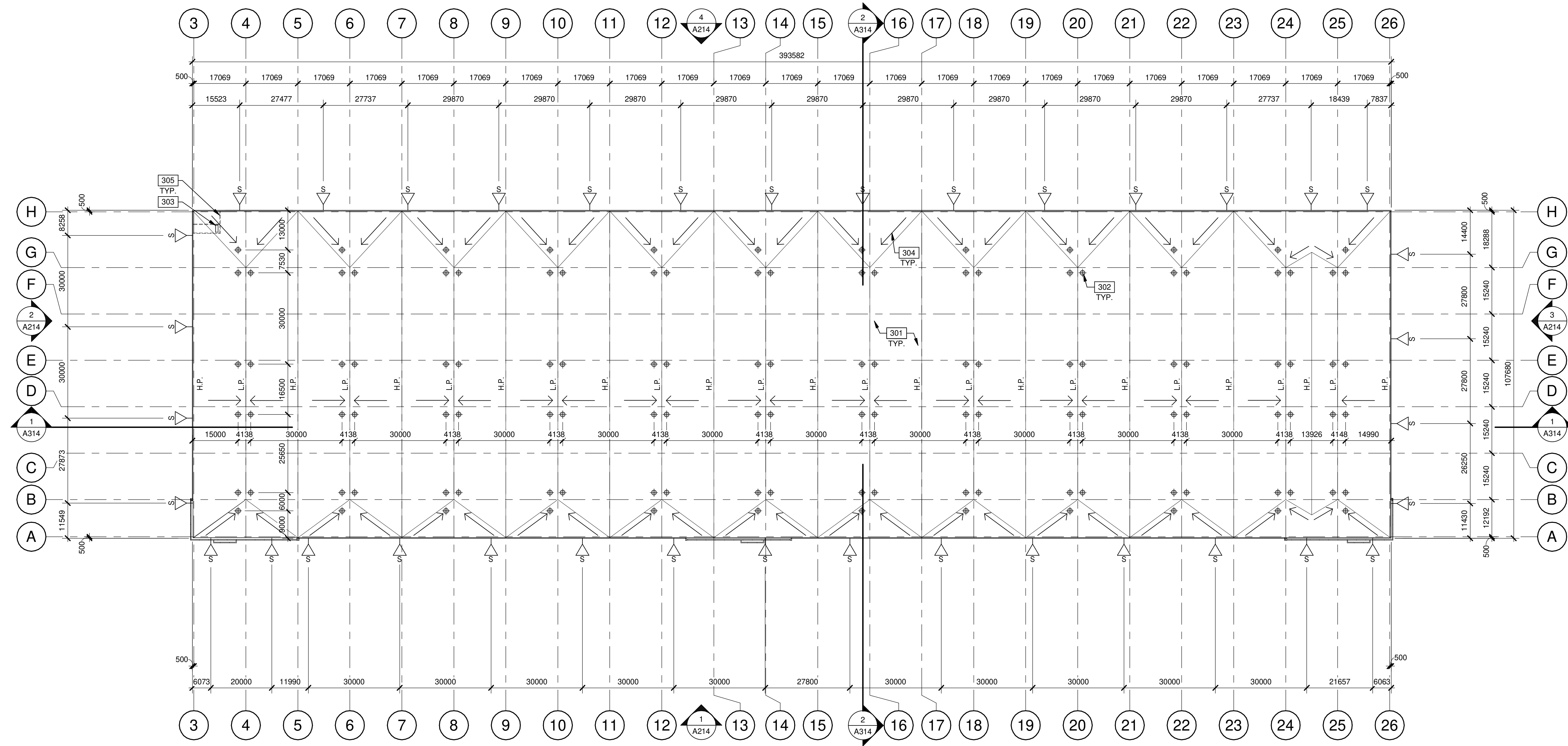


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BUILDING 3 (12489 DIXIE RD) - ROOF PLAN
 SCALE: 1 : 750

LEGEND

- FLOW LINE TO DRAIN.
- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- ROOF SCUPPER LOCATION - SEE ELEVATIONS.
- OUTLINE OF WALL BELOW.

KEYNOTES

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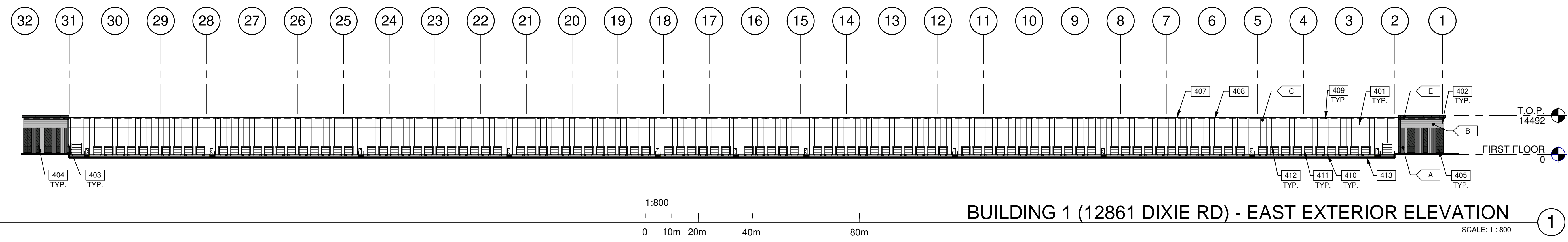


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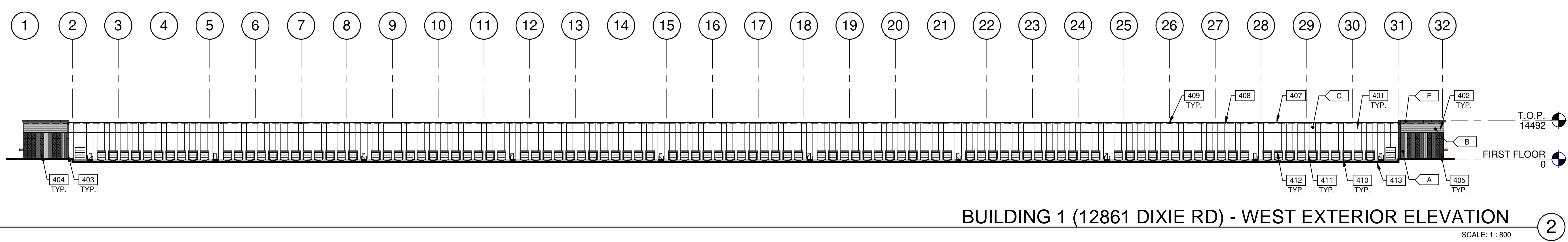
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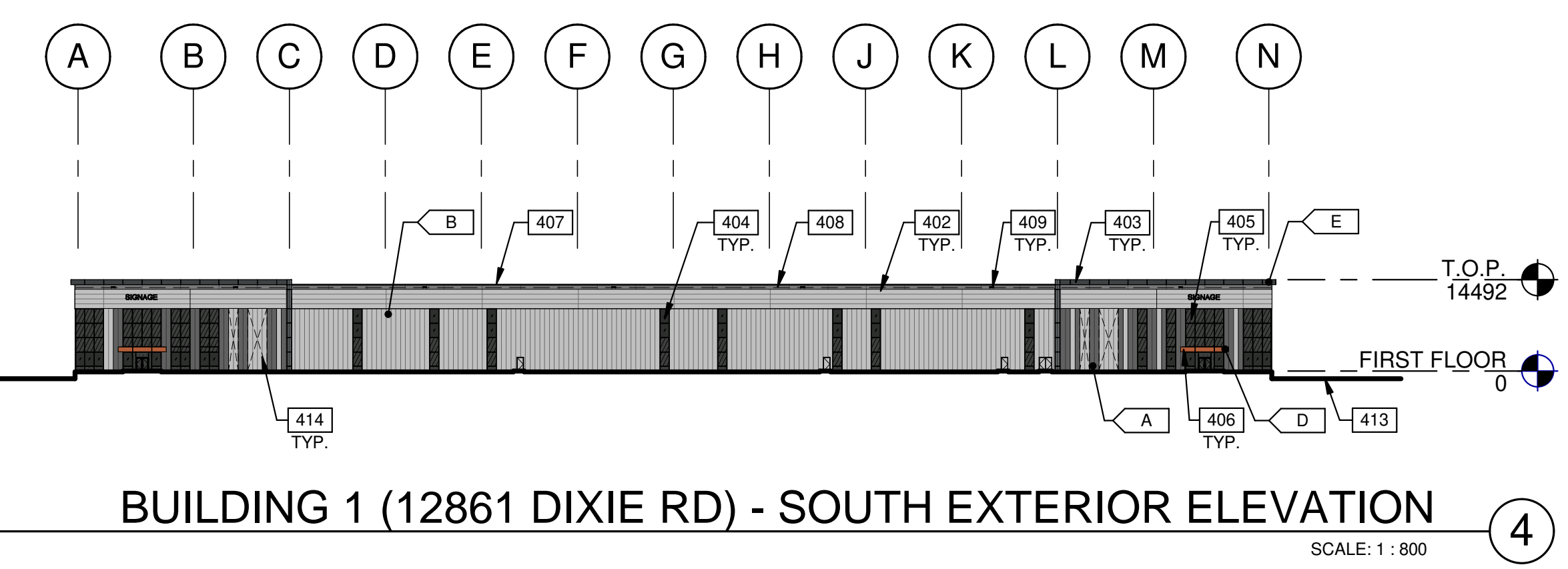
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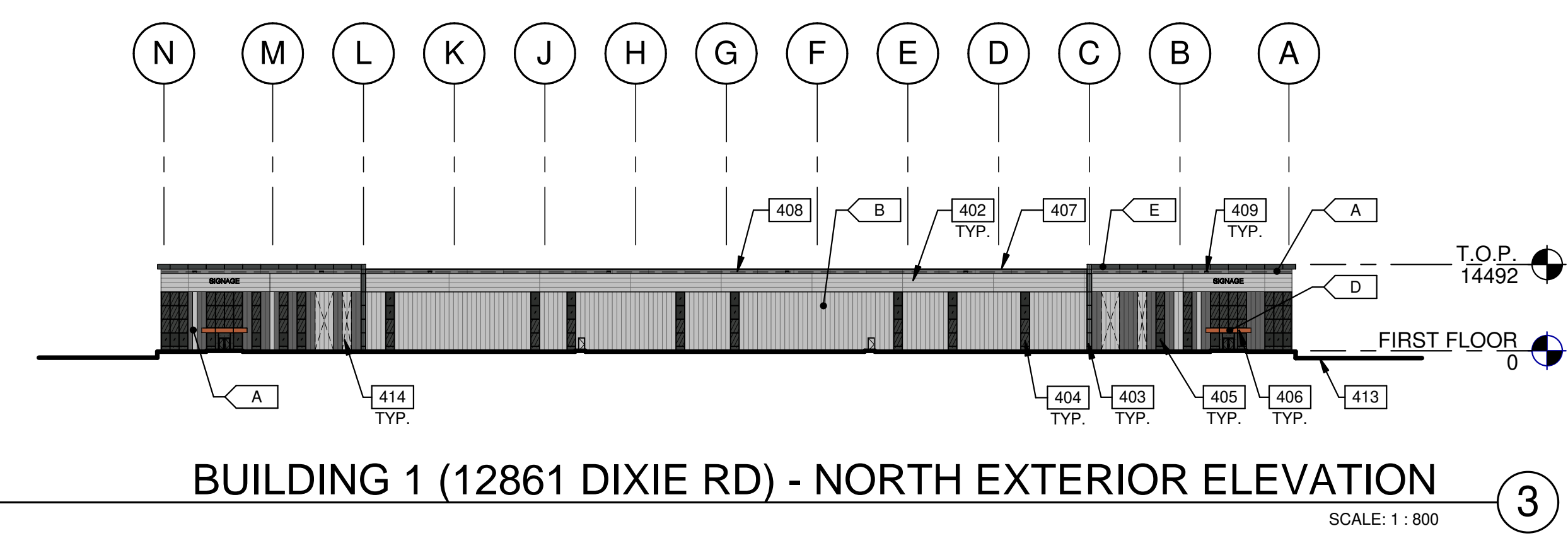
BUILDING 1 (12861 DIXIE RD) - EAST EXTERIOR ELEVATION



BUILDING 1 (12861 DIXIE RD) - WEST EXTERIOR ELEVATION



BUILDING 1 (12861 DIXIE RD) - SOUTH EXTERIOR ELEVATION



BUILDING 1 (12861 DIXIE RD) - NORTH EXTERIOR ELEVATION

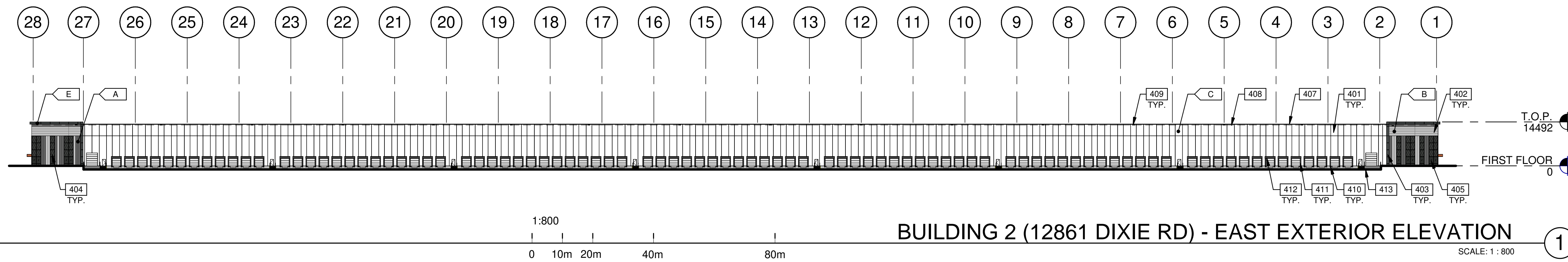
LEGENDS

- GLASS:**
- VISION GLASS - VITRO ARCHITECTURAL GLASS - SOLARGRAY
 - SPANDREL GLASS - OPACI-COAT-300 - #1-0016 CHARCOAL
 - TEMPERED TINTED GLASS

- COLOURS:**
- INSULATED METAL PANEL - DARK GREY
KINGSPAN KS SERIES - OPTIMA - WEATHERED ZINC
 - INSULATED METAL PANEL - SILVER
KINGSPAN KS SERIES - OPTIMA - BRIGHT SILVER
 - TEXTURED FLAT INSULATED PRECAST PANEL - WHITE
 - ALUMINUM COMPOSITE METAL PANEL - COPPER
ALPOLIC - DCX - METALLIC COPPER
 - ALUMINUM COMPOSITE METAL PANEL - CHARCOAL
ALPOLIC - CNC CHARCOAL

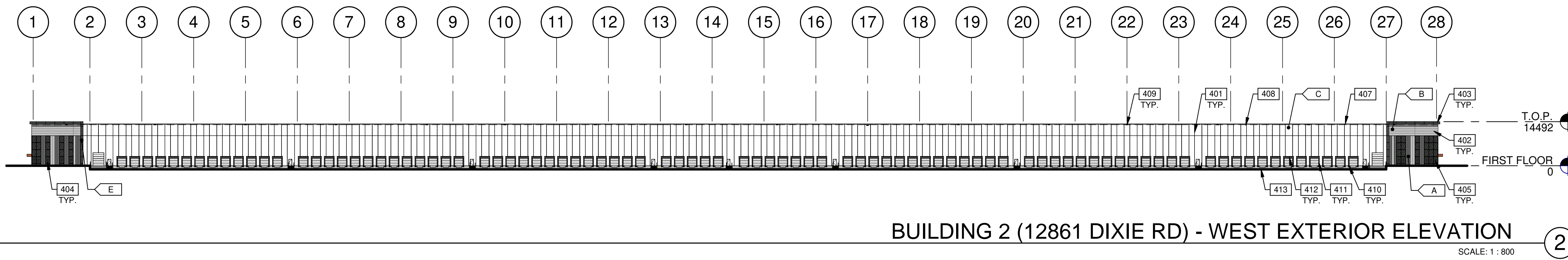
KEYNOTES

- 401 INSULATED PRECAST CONCRETE PANEL.
- 402 INSULATED METAL PANEL.
- 403 ALUMINUM COMPOSITE METAL PANEL.
- 404 CLERESTORY WINDOW.
- 405 CURTAIN WALL GLAZING SYSTEM.
- 406 CANOPY WITH ALUMINUM COMPOSITE PANEL FASCIA AND METAL SOFFIT.
- 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
- 408 ROOF LINE BEYOND.
- 409 OVERFLOW SCUPPER.
- 410 DOCK BUMPER.
- 411 DOCK SEAL, PAINTED TO MATCH ADJACENT WALL.
- 412 DOCK SHELTER.
- 413 FINISH GRADE VARIES.
- 414 KNOCK-OUT PANELS FOR FUTURE WINDOWS OR DOORS.



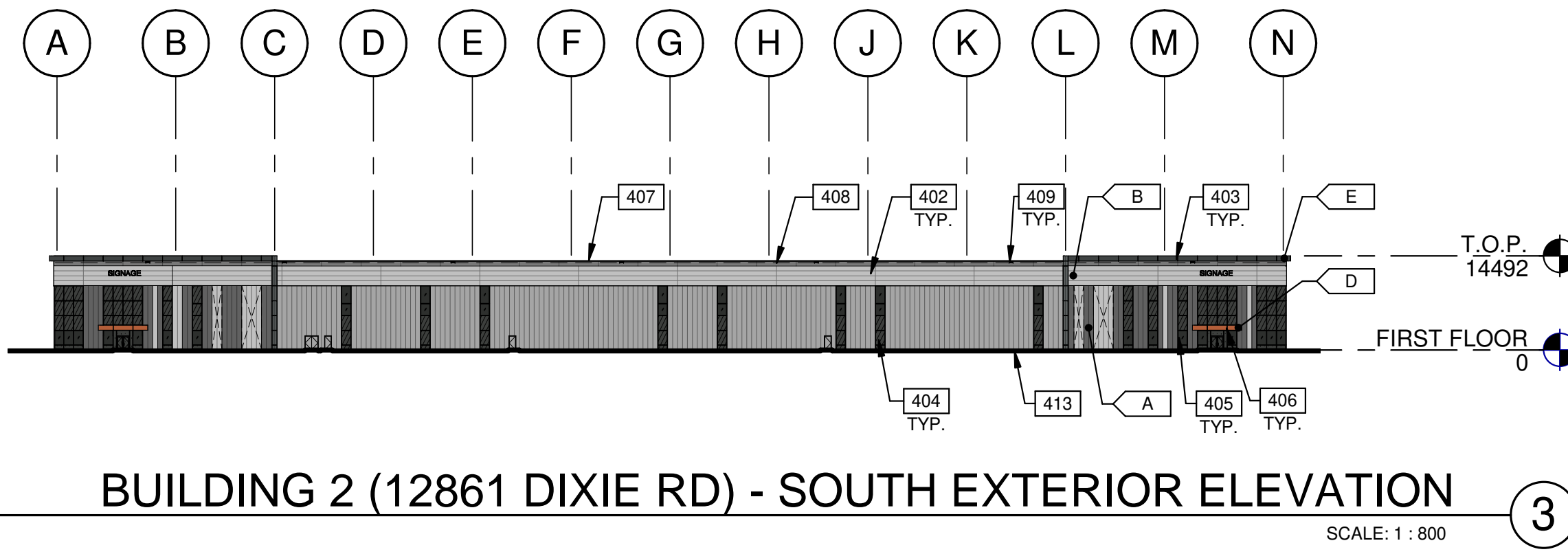
BUILDING 2 (12861 DIXIE RD) - EAST EXTERIOR ELEVATION

SCALE: 1 : 800



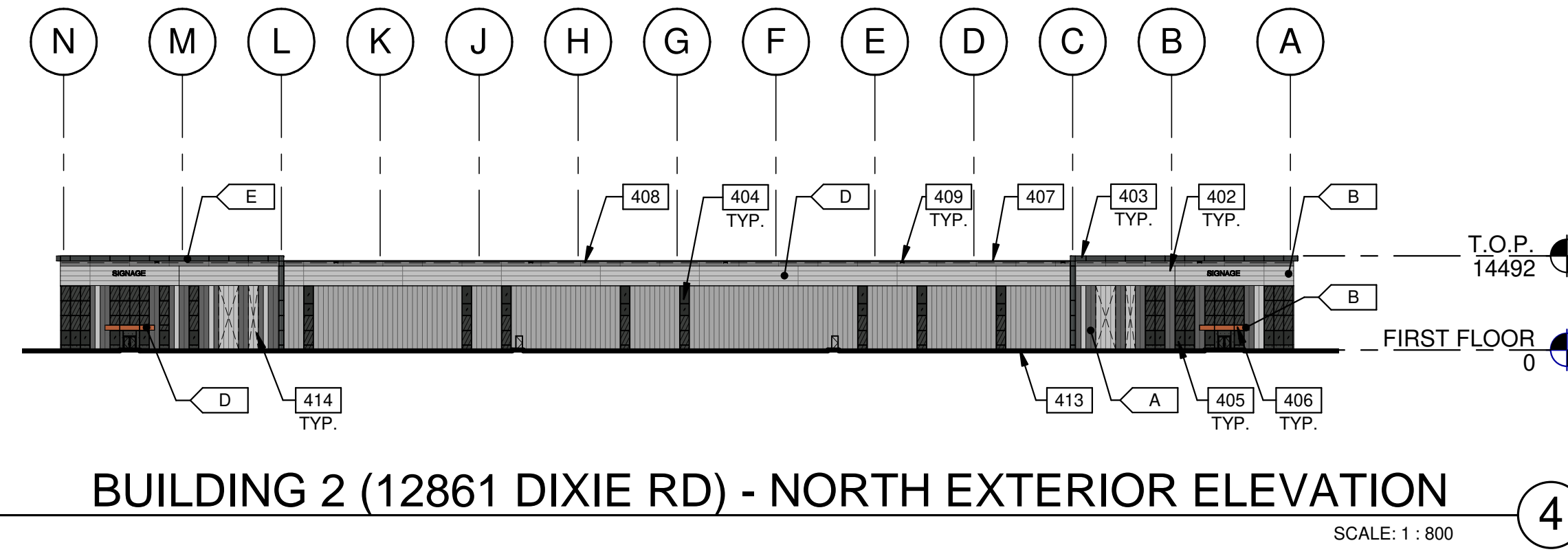
BUILDING 2 (12861 DIXIE RD) - WEST EXTERIOR ELEVATION

SCALE: 1 : 800



BUILDING 2 (12861 DIXIE RD) - SOUTH EXTERIOR ELEVATION

SCALE: 1 : 800



BUILDING 2 (12861 DIXIE RD) - NORTH EXTERIOR ELEVATION

SCALE: 1 : 800

LEGENDS

- GLASS:**
- VISION TINTED GLASS - VITRO ARCHITECTURAL GLASS - SOLARGRAY
 - SPANDREL GLASS - OPACI-COAT-300 - #1-0016 CHARCOAL
 - TEMPERED TINTED GLASS

COLOURS:
 PROVIDE 1,828 mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- INSULATED METAL PANEL - DARK GREY KINGSPAN KS SERIES - OPTIMA - WEATHERED ZINC
- INSULATED METAL PANEL - SILVER KINGSPAN KS SERIES - OPTIMA - BRIGHT SILVER
- TEXTURED FLAT INSULATED PRECAST PANEL - WHITE
- ALUMINUM COMPOSITE METAL PANEL - COPPER ALPOLIC - DCX - METALLIC COPPER
- ALUMINUM COMPOSITE METAL PANEL - CHARCOAL ALPOLIC - CNC CHARCOAL

KEYNOTES

- 401 INSULATED PRECAST CONCRETE PANEL.
- 402 INSULATED METAL PANEL.
- 403 ALUMINUM COMPOSITE METAL PANEL.
- 404 CLERESTORY WINDOW.
- 405 CURTAIN WALL GLAZING SYSTEM.
- 406 CANOPY WITH ALUMINUM COMPOSITE PANEL FASCIA AND METAL SOFFIT.
- 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
- 408 ROOF LINE BEYOND.
- 409 OVERFLOW SCUPPER.
- 410 DOCK BUMPER.
- 411 DOCK SEAL, PAINTED TO MATCH ADJACENT WALL.
- 412 DOCK SHELTER.
- 413 FINISH GRADE VARIES.
- 414 KNOCK-OUT PANELS FOR FUTURE WINDOWS OR DOORS.

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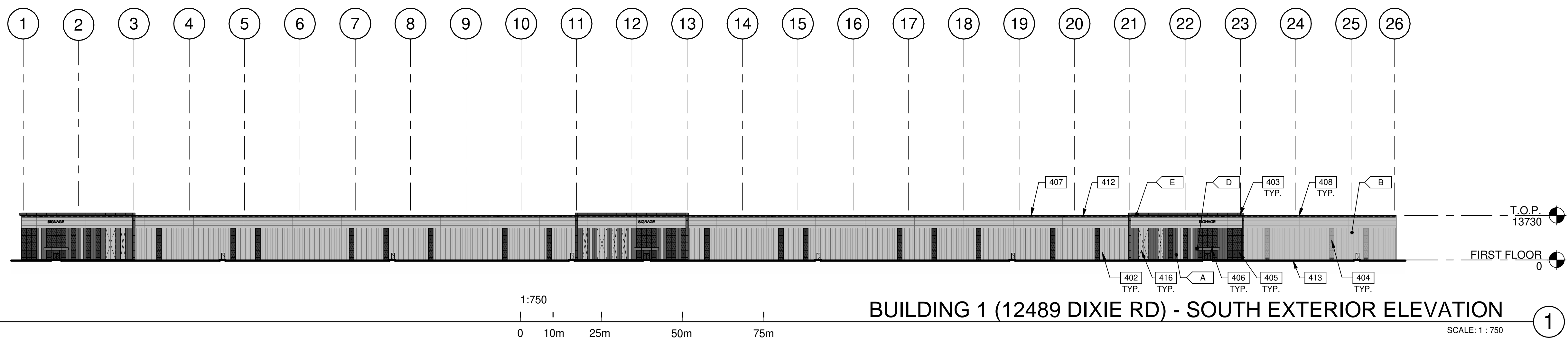


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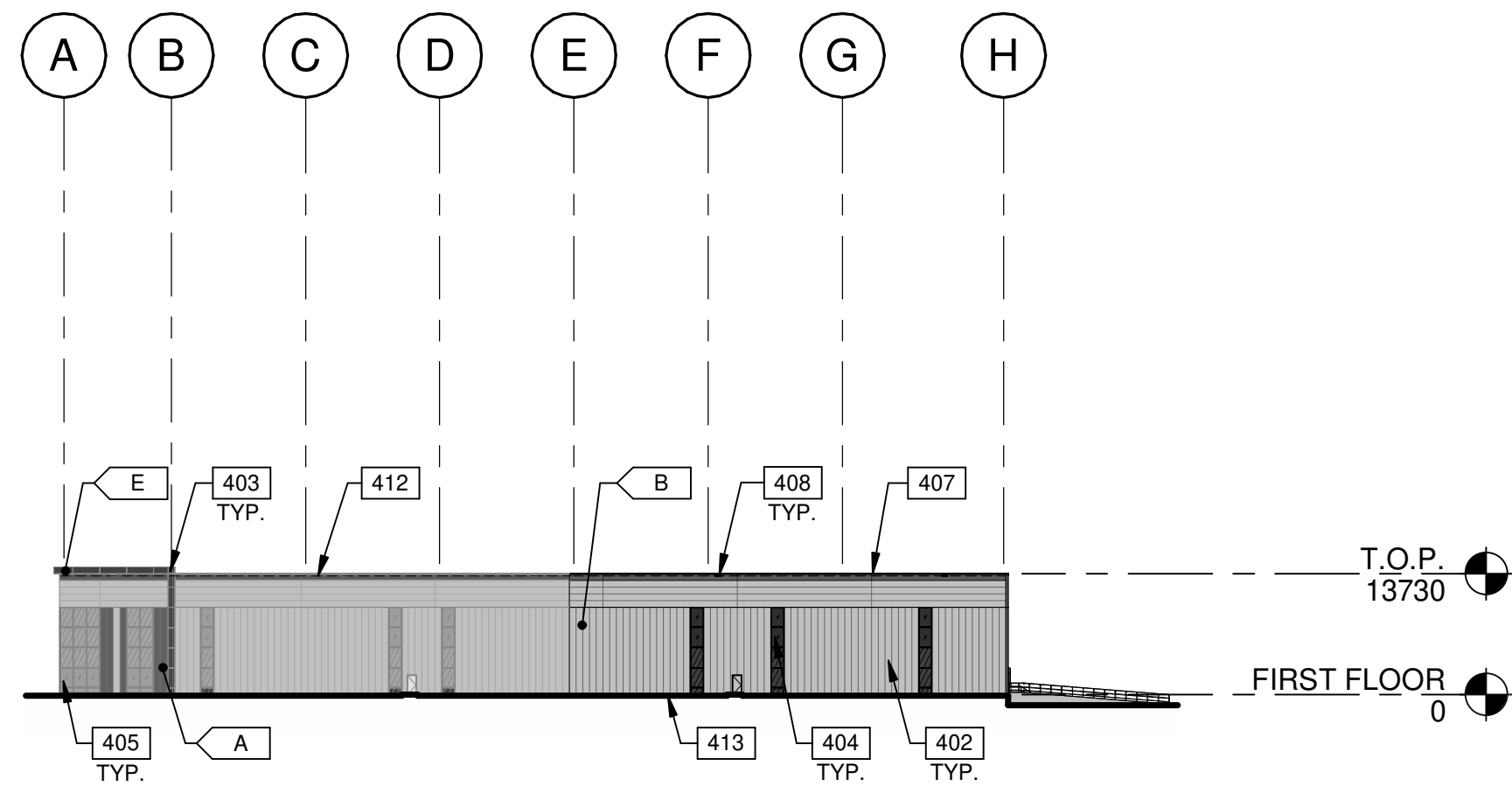
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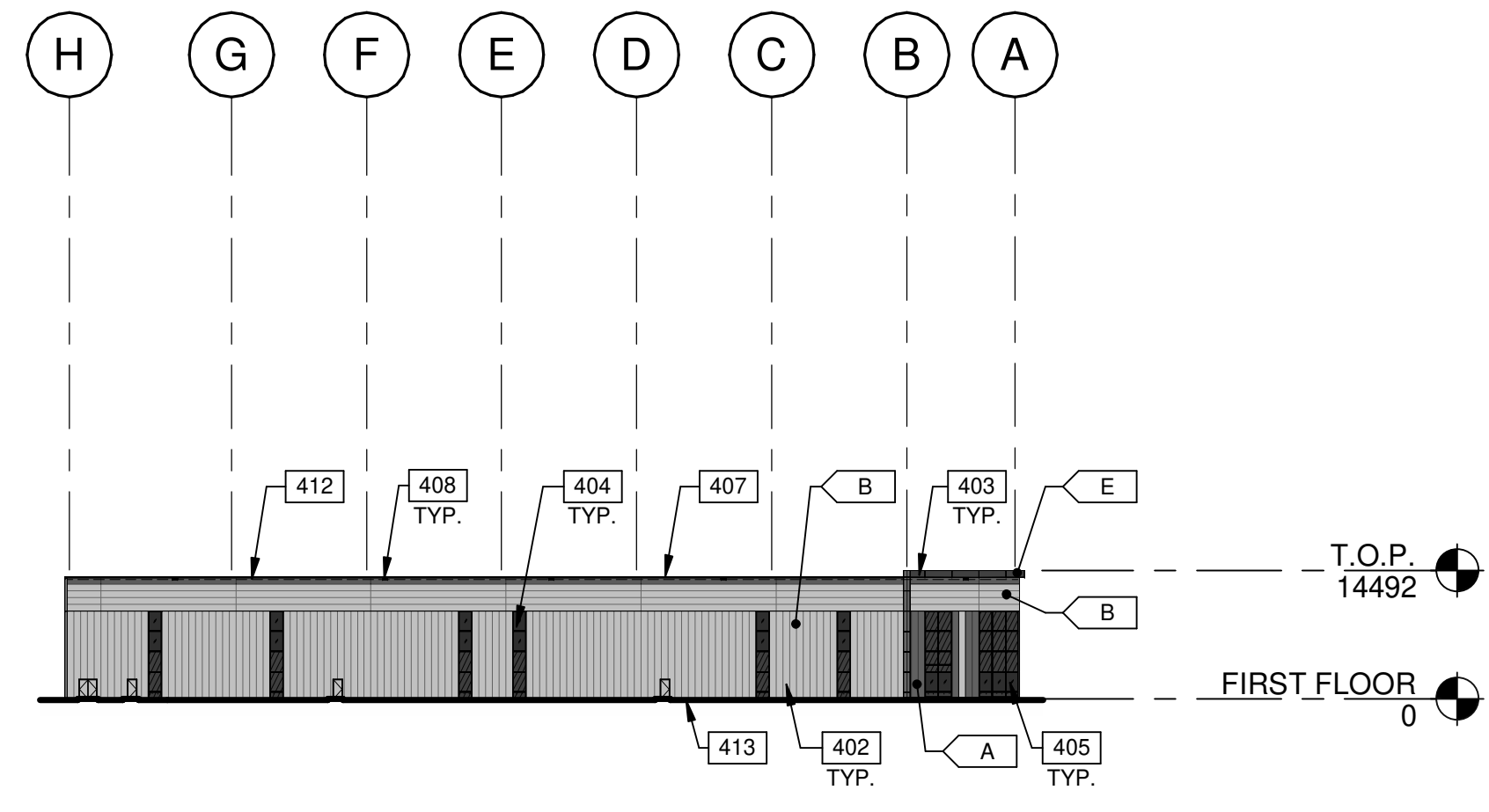
BUILDING 1 (12489 DIXIE RD) - SOUTH EXTERIOR ELEVATION

SCALE: 1 : 750



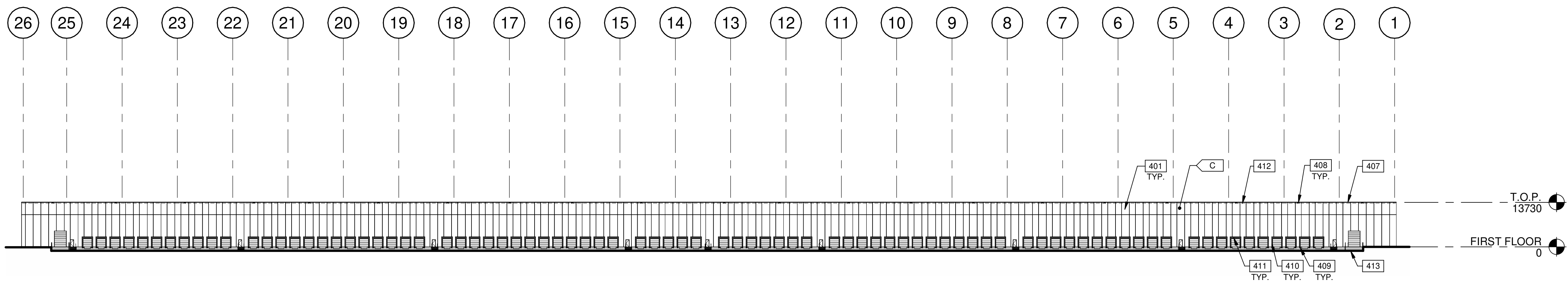
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SCALE: 1 : 750



BUILDING 1 (12489 DIXIE RD) - WEST EXTERIOR ELEVATION

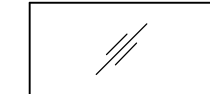
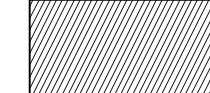

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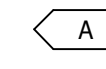
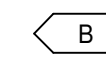
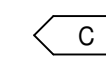
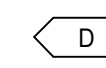

BUILDING 1 (12489 DIXIE RD) - NORTH EXTERIOR ELEVATION

SCALE: 1 : 750

LEGENDS

- GLASS:**
-  VISION TINTED GLASS - VITRO ARCHITECTURAL GLASS - SOLARGRAY
 -  SPANDREL GLASS - OPACI-COAT-300 - #1-0016 CHARCOAL
 -  TEMPERED TINTED GLASS

COLOURS:
 PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

-  INSULATED METAL PANEL - DARK GREY KINGSPAN KS SERIES - OPTIMO - WEATHERED ZINC
-  INSULATED METAL PANEL - SILVER KINGSPAN KS SERIES - OPTIMO - BRIGHT SILVER
-  TEXTURED FLAT INSULATED PRECAST PANEL - WHITE
-  ALUMINUM COMPOSITE METAL PANEL - COPPER ALPOLIC - DCX - METALLIC COPPER
-  ALUMINUM COMPOSITE METAL PANEL - CHARCOAL ALPOLIC - CNC CHARCOAL

KEYNOTES

- 401 INSULATED PRECAST CONCRETE PANEL.
- 402 INSULATED METAL PANEL.
- 403 ALUMINUM COMPOSITE METAL PANEL.
- 404 CLERESTORY WINDOW.
- 405 CURTAIN WALL GLAZING SYSTEM.
- 406 CANOPY WITH ALUMINUM COMPOSITE PANEL FASCIA AND METAL SOFFIT.
- 407 CONTINUOUS METAL CAP FLASHING, PAINTED TO MATCH ADJACENT WALL.
- 408 OVERFLOW SCUPPER.
- 409 DOCK BUMPER.
- 410 DOCK SEAL, PAINTED TO MATCH ADJACENT WALL.
- 411 DOCK SHELTER.
- 412 ROOF LINE BEYOND.
- 413 FINISH GRADE VARIES.
- 416 KNOCK-OUT PANEL.

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**QUADREAL DIXIE
 NEN & NES -
 12489 & 12861 DIXIE RD,
 CALEDON, ONTARIO,
 CANADA, L7C 2K5**

DATE	REVISIONS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

SHEET
A212

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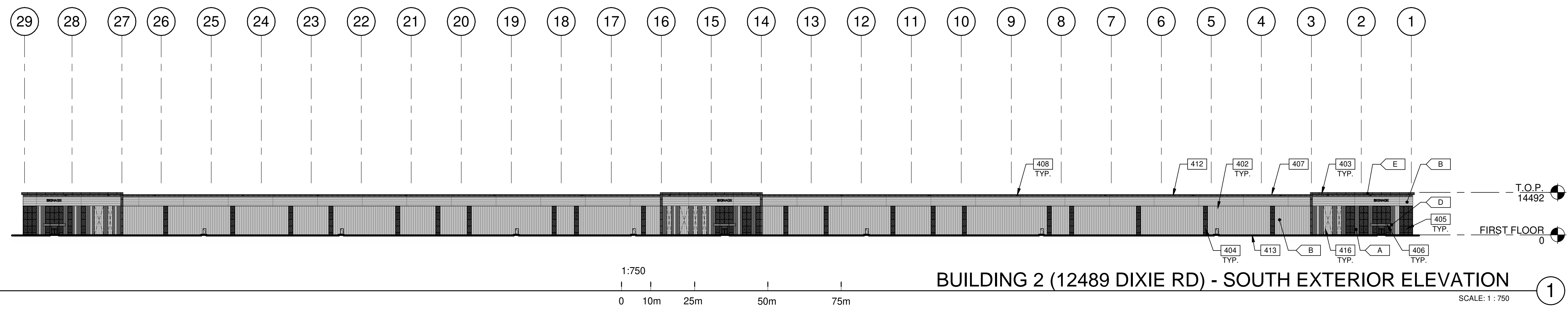
**QUADREAL DIXIE
 NEN & NES -
 12489 & 12861 DIXIE RD,
 CALEDON, ONTARIO,
 CANADA, L7C 2K5**

**BUILDING 2 - EXTERIOR
 ELEVATIONS
 12489 DIXIE RD**

DATE	REVISIONS
2023-12-12	ISSUED FOR OPA/ZBA
2024-10-16	REISSUED FOR OPA/ZBA
2024-12-05	REISSUED FOR OPA/ZBA

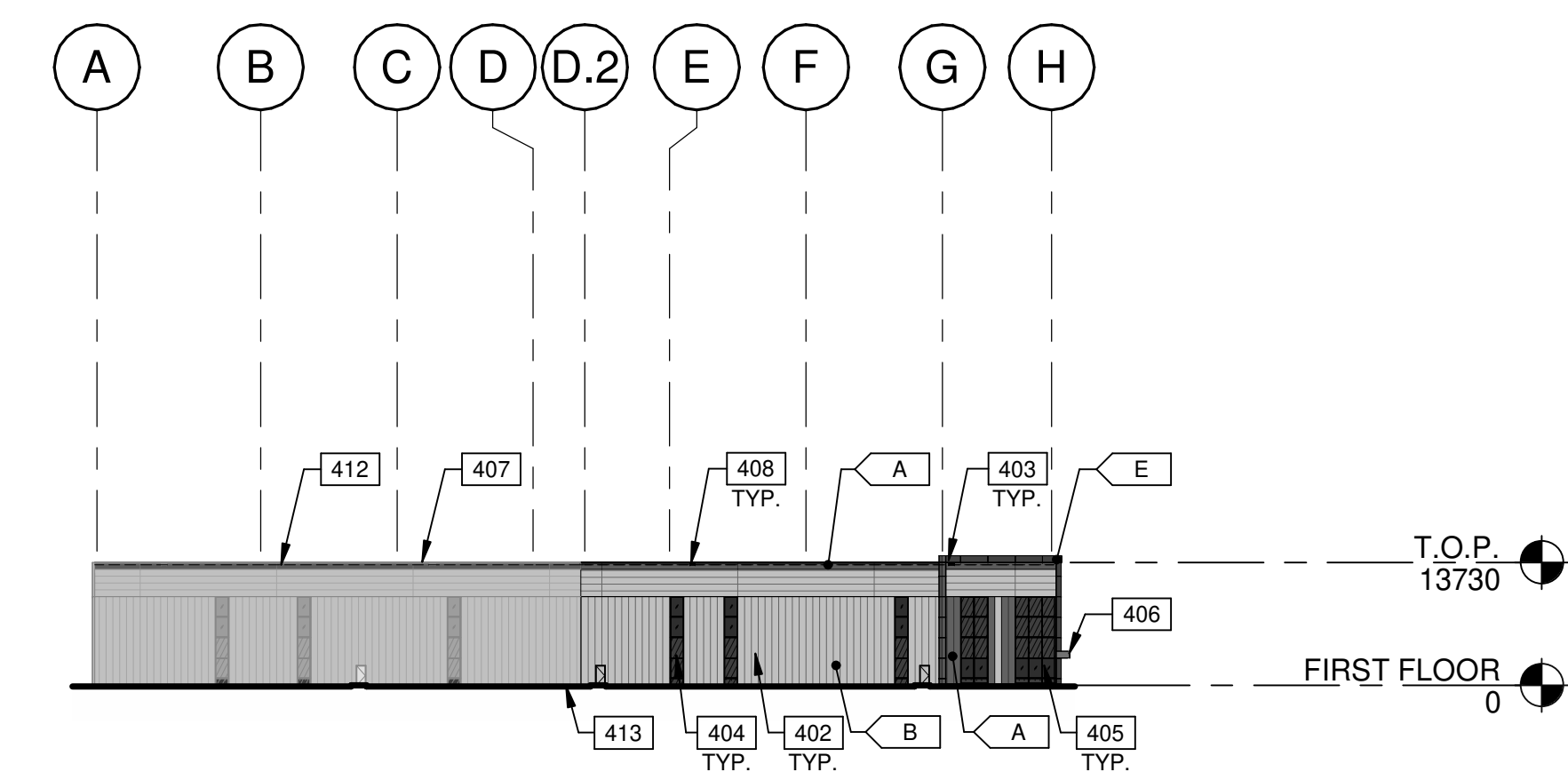
PA/PM:	A. SANABRIA
DRAWN BY.:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

SHEET
A213



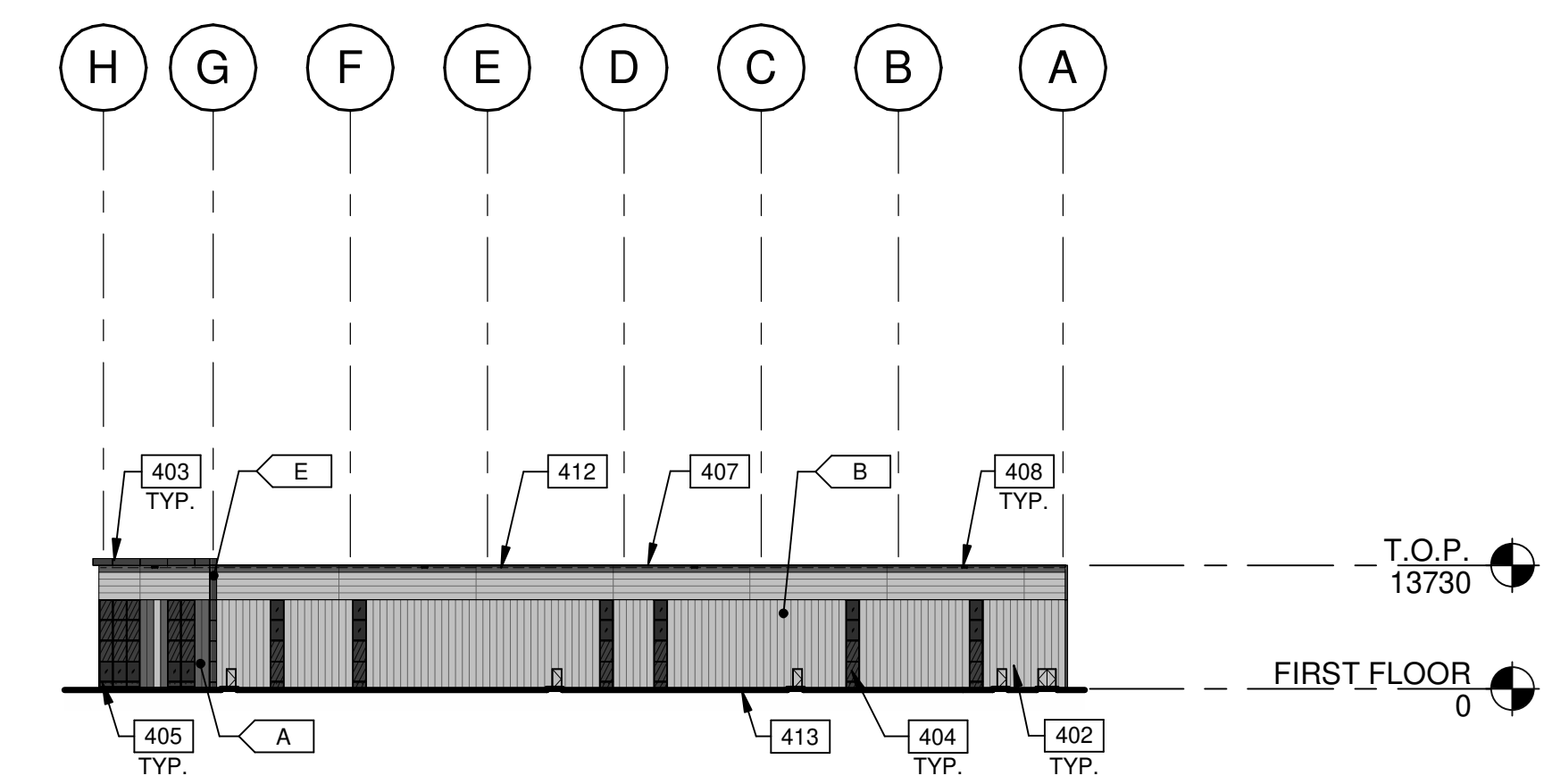
BUILDING 2 (12489 DIXIE RD) - SOUTH EXTERIOR ELEVATION

SCALE: 1 : 750



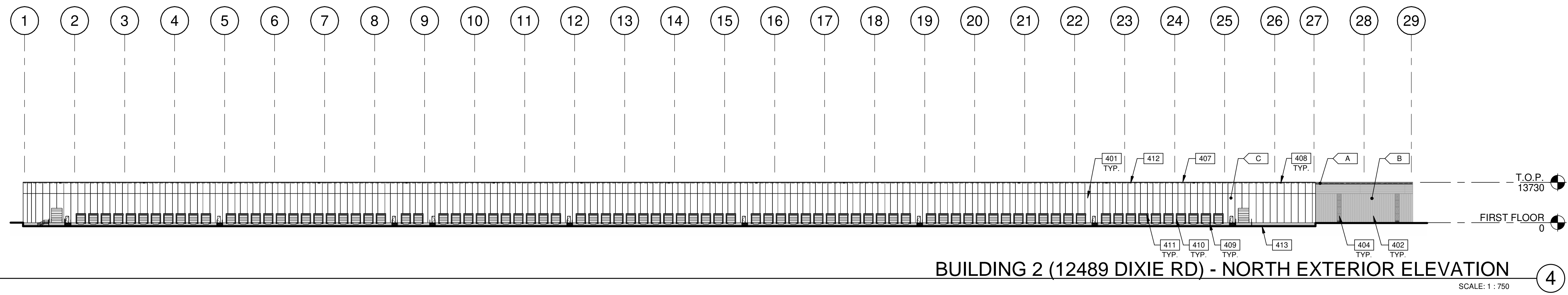
BUILDING 2 (12489 DIXIE RD) - EAST EXTERIOR ELEVATION

SCALE: 1 : 750



BUILDING 2 (12489 DIXIE RD) - WEST EXTERIOR ELEVATION

SCALE: 1 : 750



BUILDING 2 (12489 DIXIE RD) - NORTH EXTERIOR ELEVATION

SCALE: 1 : 750

LEGENDS

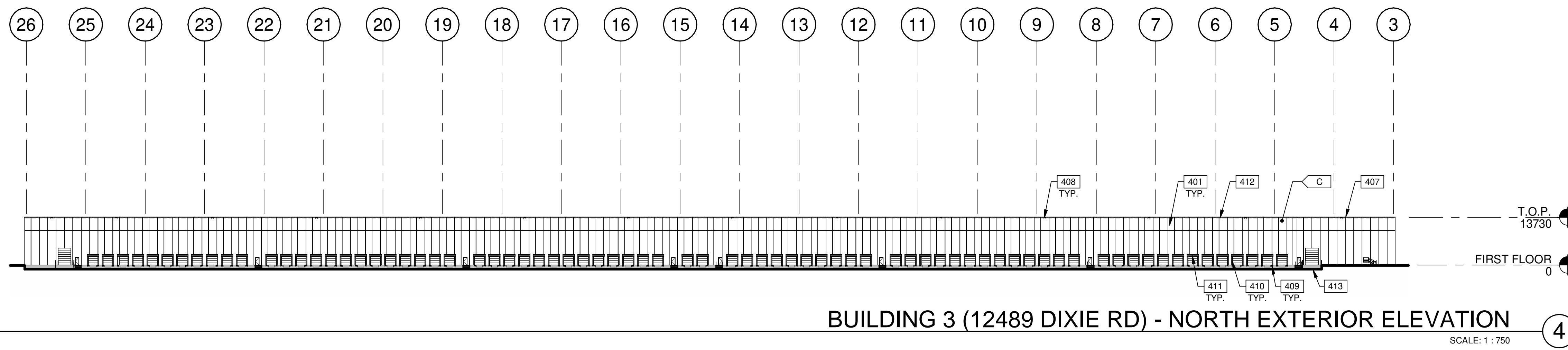
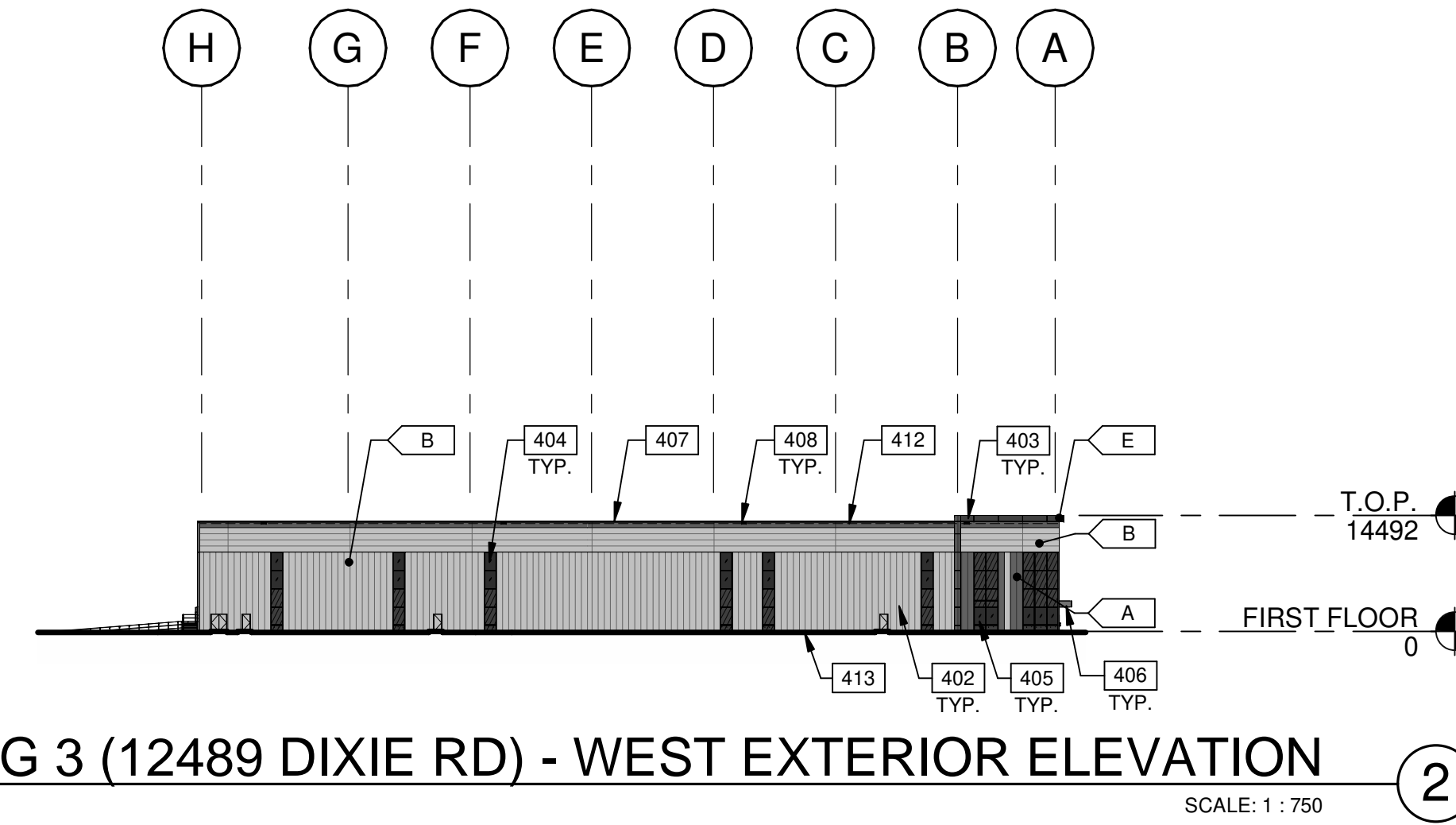
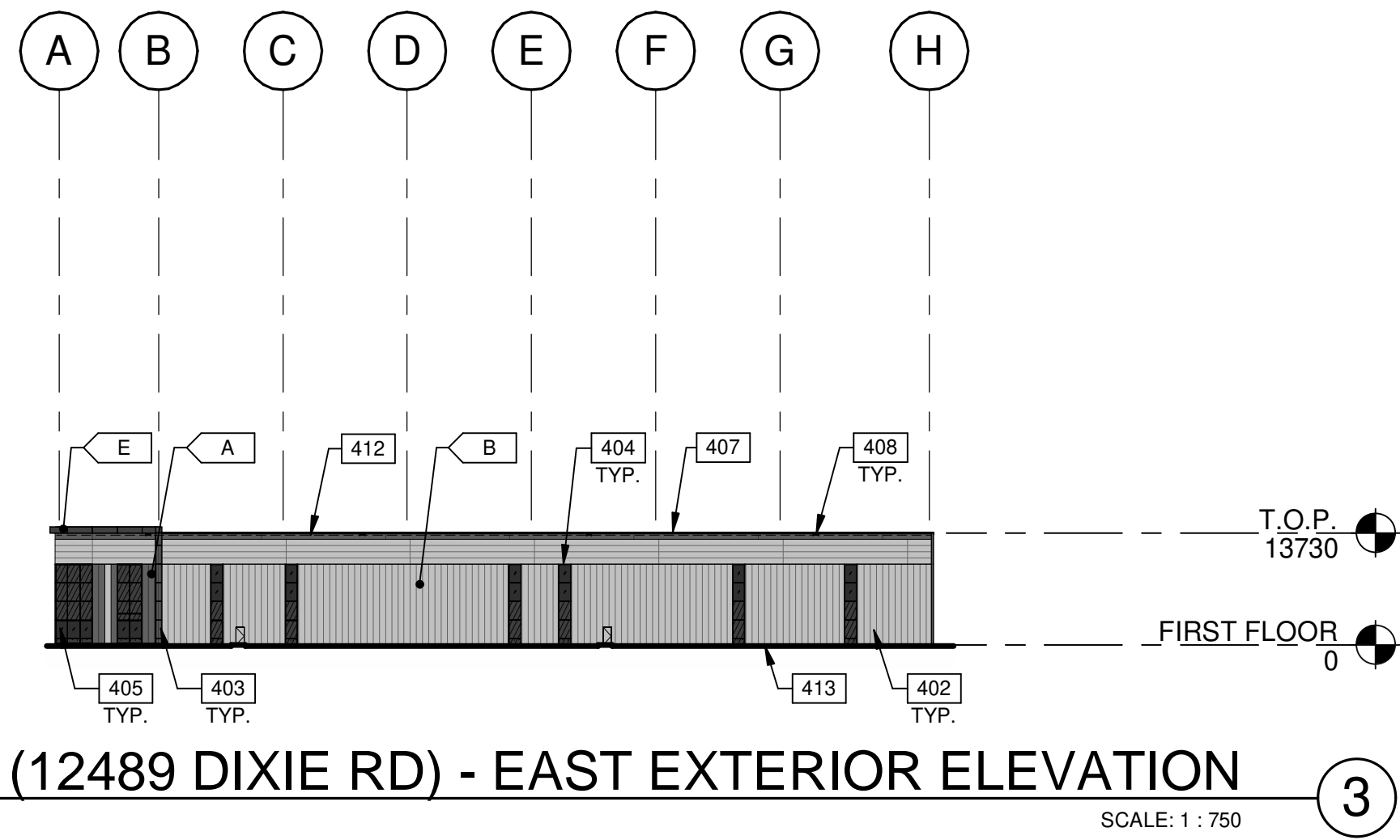
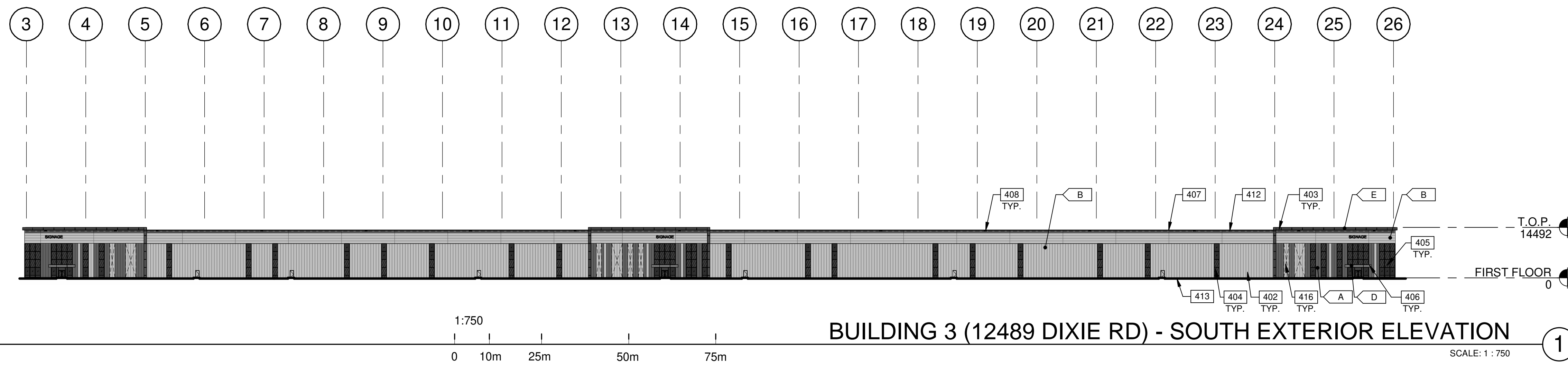
- GLASS:**
- VISION TINTED GLASS - VITRO ARCHITECTURAL GLASS - SOLARGRAY
 - SPANDREL GLASS - OPACI-COAT-300 - #1-0016 CHARCOAL
 - TEMPERED TINTED GLASS

COLOURS:
 PROVIDE 1,828 mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- INSULATED METAL PANEL - DARK GREY
KINGSPAN KS SERIES - OPTIMO - WEATHERED ZINC
- INSULATED METAL PANEL - SILVER
KINGSPAN KS SERIES - OPTIMO - BRIGHT SILVER
- TEXTURED FLAT INSULATED PRECAST PANEL - WHITE
- ALUMINUM COMPOSITE METAL PANEL - COPPER
ALPOLIC - DCX - METALLIC COPPER
- ALUMINUM COMPOSITE METAL PANEL - CHARCOAL
ALPOLIC - CNC CHARCOAL

KEYNOTES

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- 411 DOCK SHELTER.
- 412 ROOF LINE BEYOND.
- 413 FINISH GRADE VARIES.
- 416 KNOCK-OUT PANEL.



LEGENDS

- GLASS:**
-  VISION TINTED GLASS - VITRO ARCHITECTURAL GLASS - SOLARGRAY
 -  SPANDREL GLASS - OPACI-COAT-300 - #1-0016 CHARCOAL
 -  TEMPERED TINTED GLASS

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 PROVIDE 1,828mm WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

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-  TEXTURED FLAT INSULATED PRECAST PANEL - WHITE
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 12489 & 12861 DIXIE RD,
 CALEDON, ONTARIO,
 CANADA, L7C 2K5**

BUILDING 3 - EXTERIOR ELEVATIONS 12489 DIXIE RD

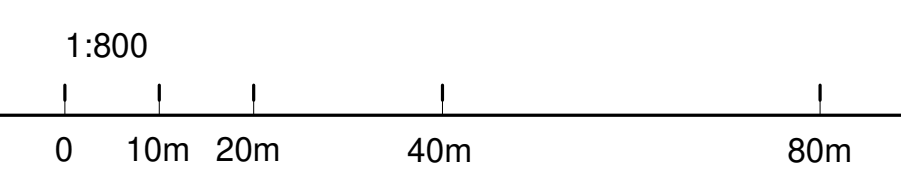
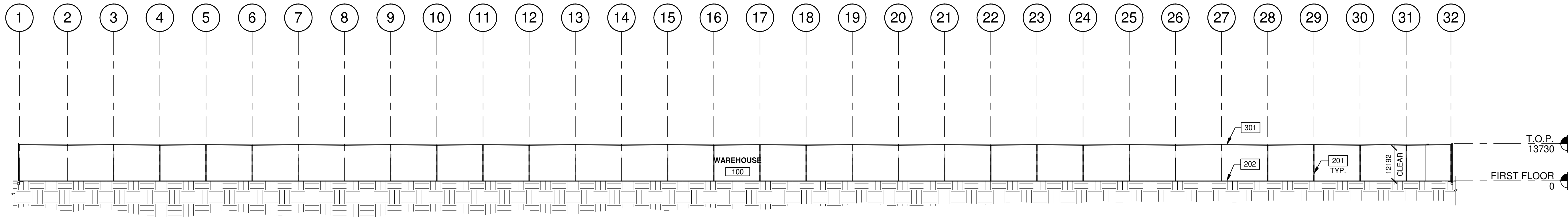
DATE	REVISIONS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

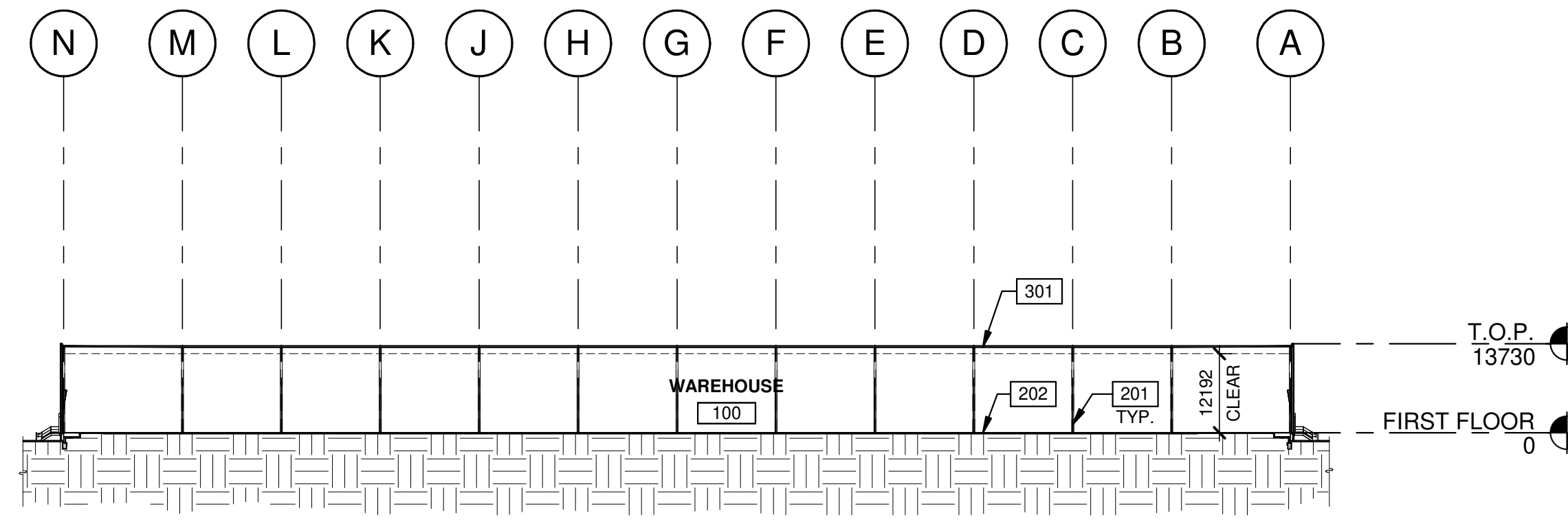
SHEET
A214

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BUILDING 1 (12861 DIXIE RD) - BUILDING SECTION 1
SCALE: 1 : 800



BUILDING 1 (12861 DIXIE RD) - BUILDING SECTION 2
SCALE: 1 : 800

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 TPO ROOFING SYSTEM.

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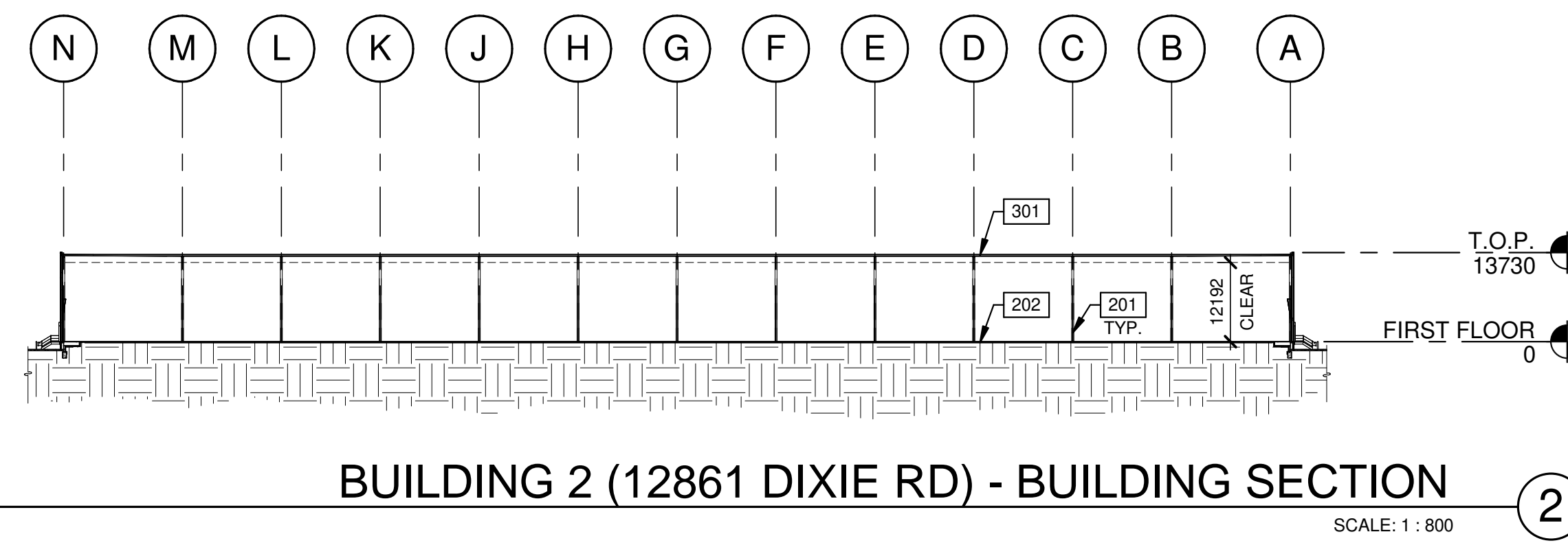
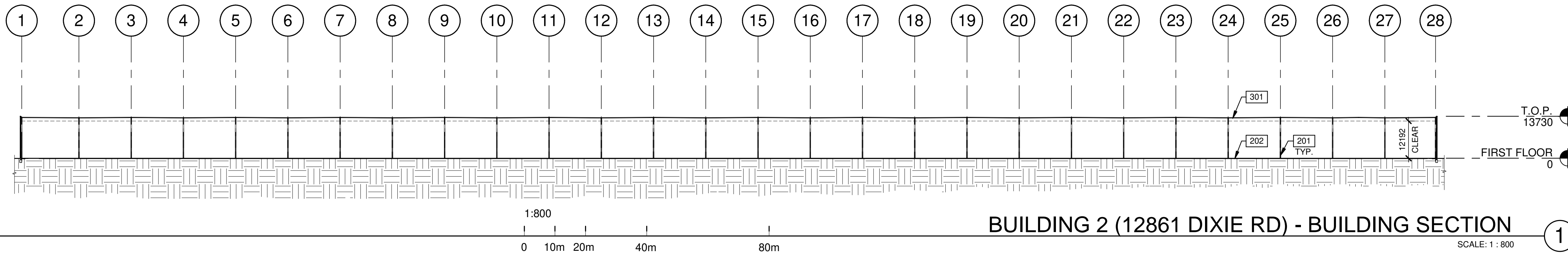


**QUADREAL DIXIE
NEN & NES -
12489 & 12861 DIXIE RD,
CALEDON, ONTARIO,
CANADA, L7C 2K5**

BUILDING 1 - BUILDING SECTIONS 12861 DIXIE RD	
DATE	REMARKS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	T.M. / O.T.
JOB NO.:	TOR22-0060-01

SHEET
A310



KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 TPO ROOFING SYSTEM.

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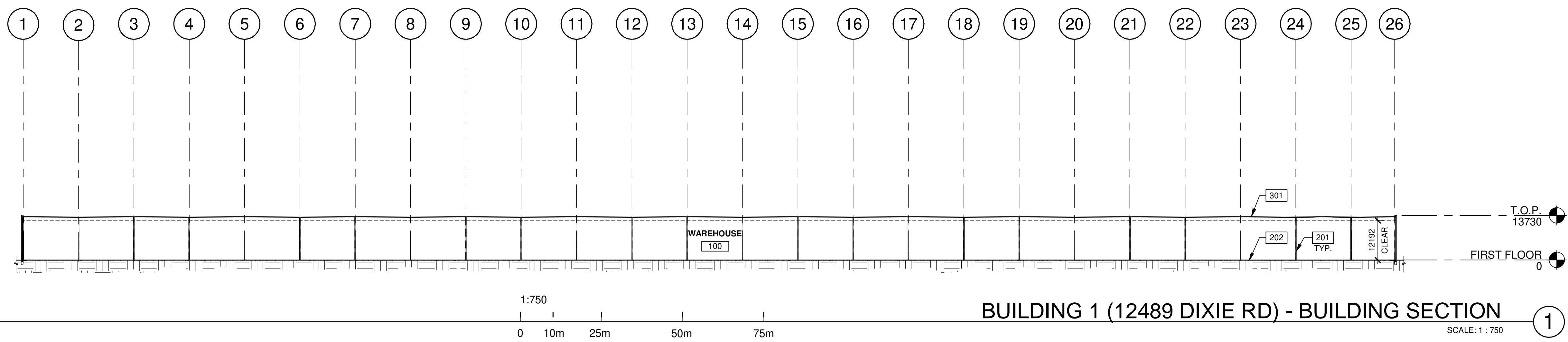
**QUADREAL DIXIE
NEN & NES -
12489 & 12861 DIXIE RD,
CALEDON, ONTARIO,
CANADA, L7C 2K5**

BUILDING 2 - BUILDING SECTIONS 12861 DIXIE RD		REMARKS
DATE	ISSUED FOR OPAZBA	
1	2023-12-12	ISSUED FOR OPAZBA
2	2024-10-16	REISSUED FOR OPAZBA
3	2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	T.M. / O.T.
JOB NO.:	TOR22-0060-01

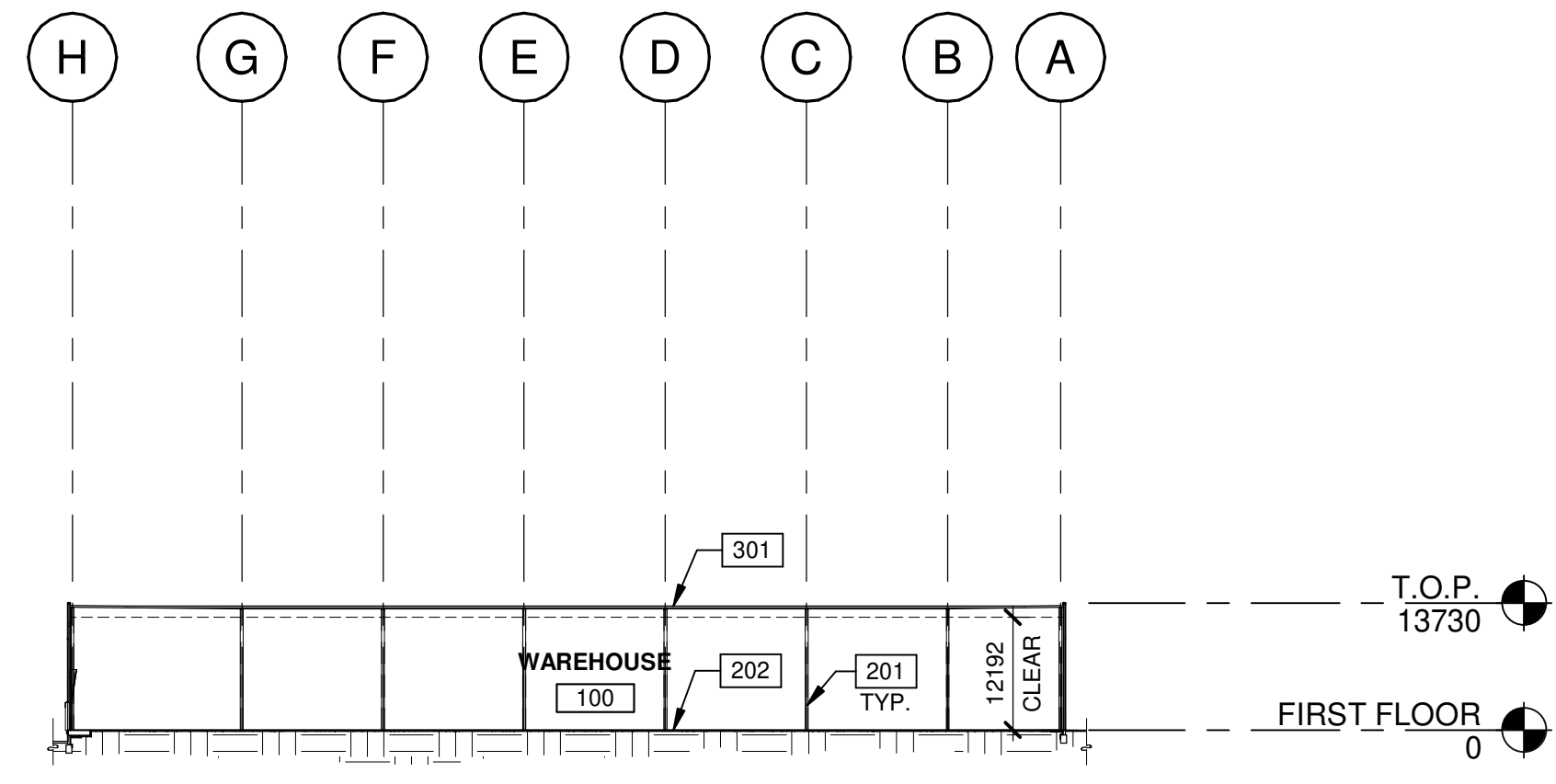
SHEET
A311

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BUILDING 1 (12489 DIXIE RD) - BUILDING SECTION

SCALE: 1 : 750



BUILDING 1 (12489 DIXIE RD) - BUILDING SECTION

SCALE: 1 : 750

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 TPO ROOFING SYSTEM.

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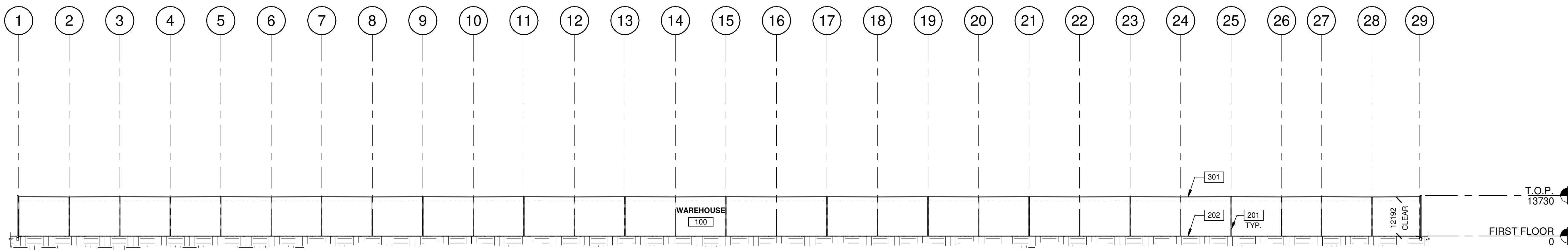
**QUADREAL DIXIE
 NEN & NES -
 12489 & 12861 DIXIE RD,
 CALEDON, ONTARIO,
 CANADA, L7C 2K5**

BUILDING 1 - BUILDING SECTIONS 12489 DIXIE RD		REMARKS
1	2023-12-12	ISSUED FOR OPAZBA
2	2024-10-16	REISSUED FOR OPAZBA
3	2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY.:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

SHEET
A312

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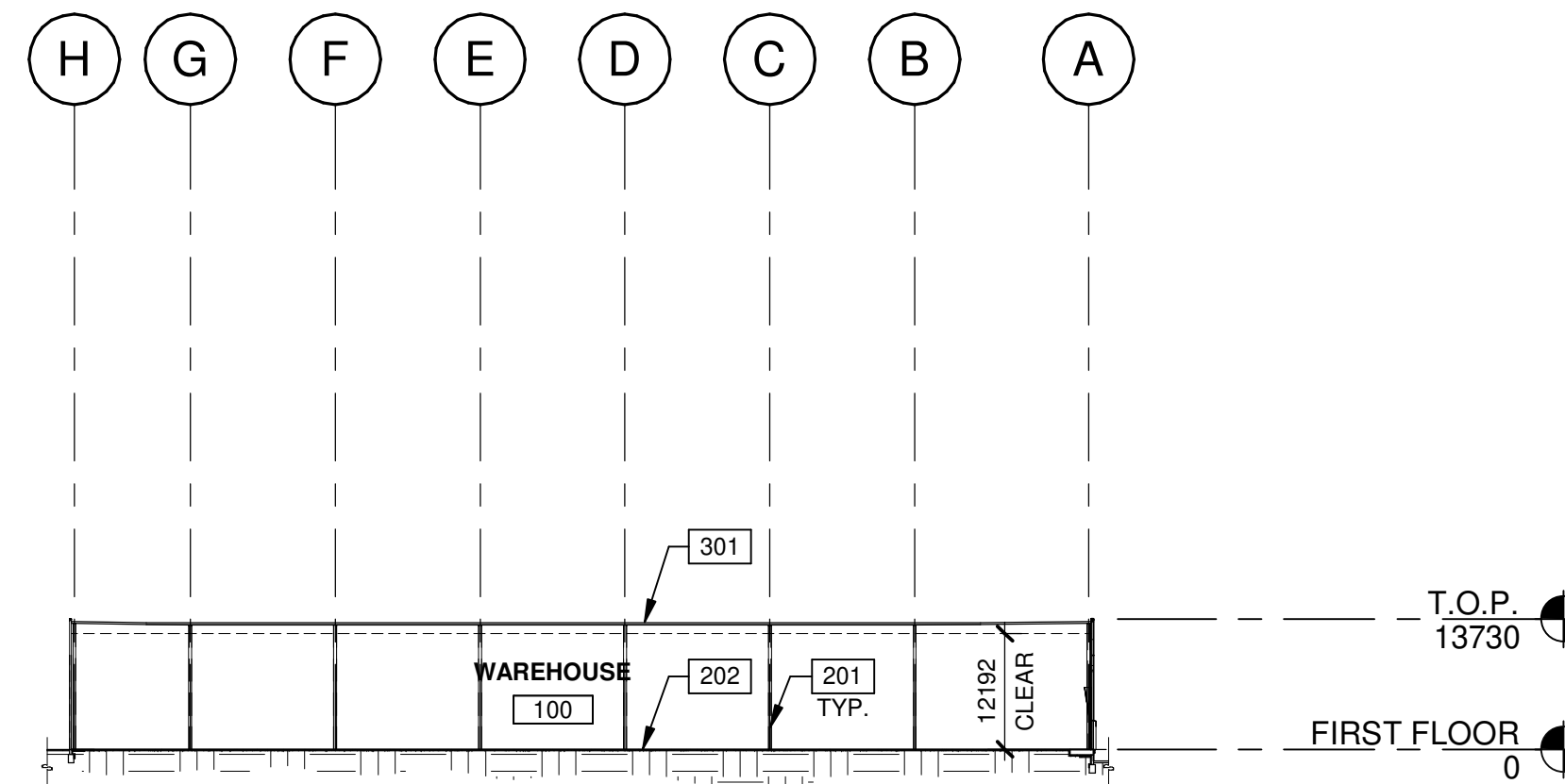


1:750
0 10m 25m 50m 75m

BUILDING 2 (12489 DIXIE RD) - BUILDING SECTION

SCALE: 1 : 750

1



BUILDING 2 (12489 DIXIE RD) - BUILDING SECTION

SCALE: 1 : 750

2

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 TPO ROOFING SYSTEM.

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**QUADREAL DIXIE
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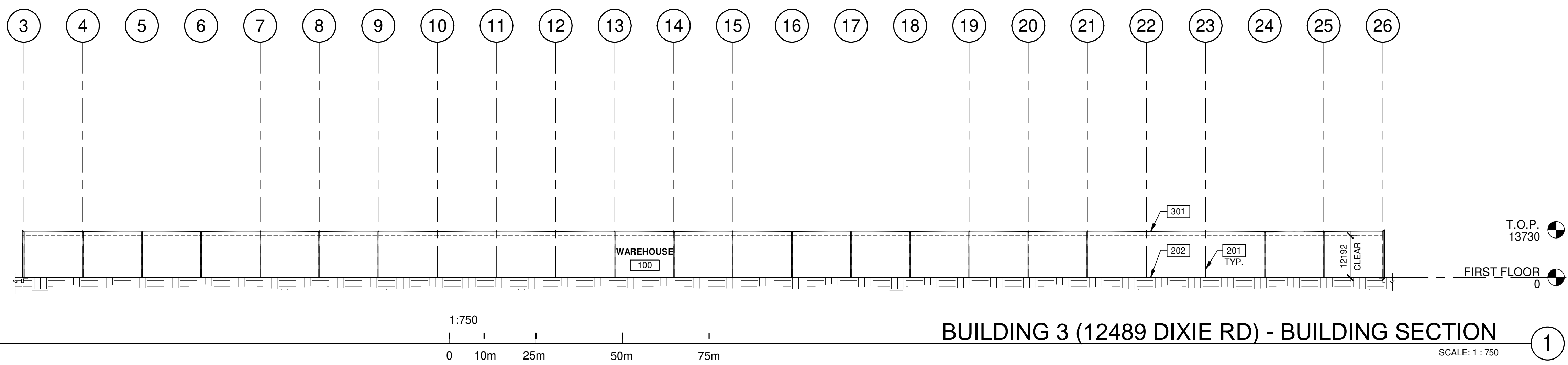
**BUILDING 2 - BUILDING
SECTIONS
12489 DIXIE RD**

DATE	REMARKS
2023-12-12	ISSUED FOR OPAZBA
2024-10-16	REISSUED FOR OPAZBA
2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
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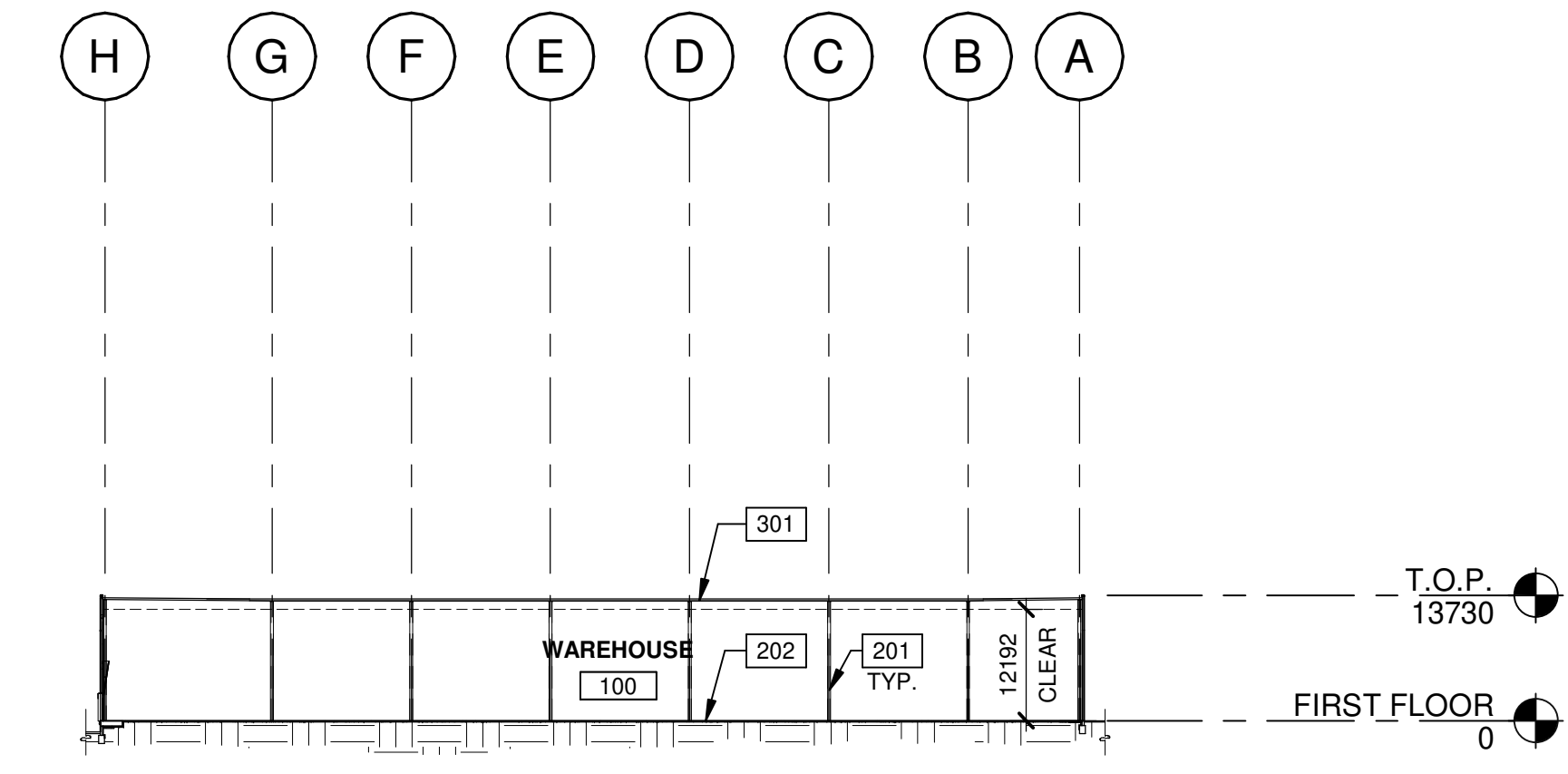
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A313



BUILDING 3 (12489 DIXIE RD) - BUILDING SECTION

SCALE: 1 : 750



BUILDING 3 (12489 DIXIE RD) - BUILDING SECTION

SCALE: 1 : 750

KEYNOTES

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 TPO ROOFING SYSTEM.

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**QUADREAL DIXIE
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 CALEDON, ONTARIO,
 CANADA, L7C 2K5**

BUILDING 3 - BUILDING SECTIONS 12489 DIXIE RD		REMARKS
1	2023-12-12	ISSUED FOR OPAZBA
2	2024-10-16	REISSUED FOR OPAZBA
3	2024-12-05	REISSUED FOR OPAZBA

PA/PM:	A. SANABRIA
DRAWN BY:	C.G. / E.C. / O.T. / D.P.
JOB NO.:	TOR22-0111-00

SHEET
A314