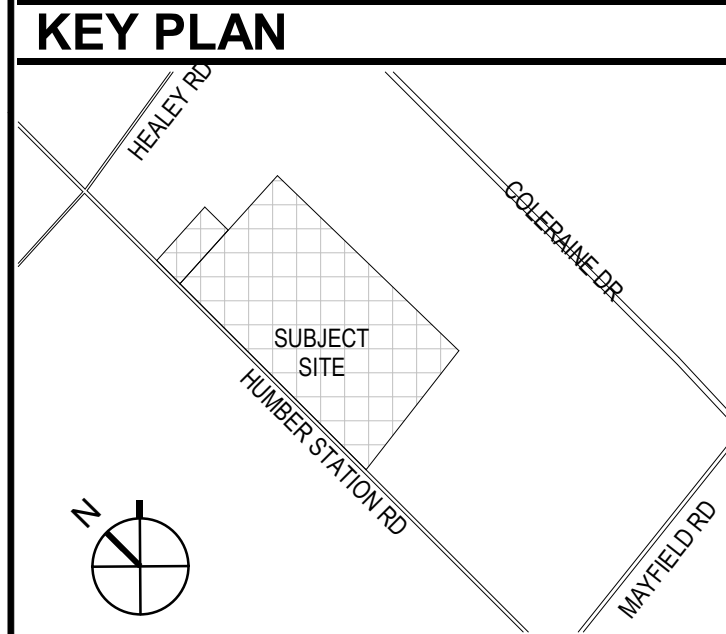


260 TOWN CENTRE BLVD. SUITE 300 MARKHAM, ONTARIO L3R 8H8
 T 905.470.7000 F 905.470.2500
 www.petroff.com



LEGAL DESCRIPTION

ADDRESS:
 PLAN OF SURVEY OF 12519-12712 HUMBER STATION ROAD
 REGIONAL MUNICIPALITY OF PEELE
 TOWN OF CALEDON
 REGIONAL MUNICIPALITY OF PEELE
 SITE SPECIFIC ZONING TO BE VERIFIED UPON CONSULTATION WITH TOWN OF CALEDON.
 MASTER PLAN LAYOUT IS SUBJECT TO IMPLEMENTATION OF ENVIRONMENTAL, STORM WATER MANAGEMENT, ETC. REQUIREMENTS UPON CONSULTATION WITH AUTHORITIES HAVING JURISDICTION.
 NOTE: ALL SURVEY INFORMATION FROM DAVID B. SEARLES SURVEYING LTD. ONTARIO LAND SURVEYOR, DATED JULY 4, 2022.
 FOR LANDSCAPE AND SITE FURNITURE INFORMATION, REFER TO DRAWINGS BY MHC.
 FOR GRADING AND SERVICING INFORMATION, REFER TO DRAWINGS BY CROZIER.
 FOR ELECTRICAL INFORMATION, REFER TO DRAWINGS BY HAMMERSCHLAG & JOFFE.
 FOR TRAFFIC SIGNAGE AND DESIGN REFER TO DRAWINGS BY LEA.

SITE LEGEND

- PAINTED PEDESTRIAN CROSSWALK
- ENTRANCE/EXIT DOOR
- LOADING DOCK DOOR
- DRIVE IN DOOR
- PRINCIPAL ENTRANCE
- FIRE ACCESS ROUTE
- PROPERTY LINE
- ACCESSIBLE PARKING SPACE
- ELECTRICAL VEHICLE PARKING SPACE
- BOLLARD
- FIRE HYDRANT
- LIGHT STANDARD
- WALL MOUNTED LIGHT FIXTURE
- CATCH BASIN SEE CIVIL DWGS
- MANHOLE SEE CIVIL DWGS
- DUAL CATCH BASIN AND MANHOLE SEE CIVIL DWGS
- HEAVY DUTY ASPHALT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- EXTENT OF SRI TREATMENT ON ASPHALT SEE LANDSCAPE DWGS

REV #	DATE	REVISION TITLE
1	NOV 14, 2023	ISSUED FOR CLIENT
2	APR 19, 2024	ISSUED FOR SPA
3	NOV. 22, 2024	ISSUED FOR SPA SUBMISSION 1B

PROJECT NO: 22095.00
 DRAWN BY: TL
 CHECKED BY: RBC

HUMBER STATION DC1
 TOR02790
 HUMBER STATION ROAD
 CALEDON, ONTARIO

Prologis Inc. (Canada)
 185 The West Mall, Suite 700, Toronto
 647-258-2600

https://www.prologis.com

SHEET TITLE:
OVERALL SITE PLAN

SEAL: ARCHITECTS
 ALY HAMOY LICENCE #786

SHEET NO.
A100.0

ZONING COMPLIANCE CHART

ZONING	REQUIRED	PROPOSED	MP
LOT AREA	925 SM	±784,600 SM	
LOT FRONTAGE (MIN)	30 M	1,129 M	
FRONT YARD (MIN)	20 M	94 M	
EXT. SIDE YARD (MIN)	15 M (RES), 7.5 M	NA	
REAR YARD (MIN)	15 M	104 M	
INT. SIDE YARD (MIN)	15 M	43 M	
BUILDING HEIGHTS (MAX)	18M	16 M	
LANDSCAPE (MIN)	10%	10%	
PLANTING STRIP WIDTH (MIN)	6 M	6 M	
PARKING SETBACK (MIN)	6M (FRONT YARD), 3M	208 M	
PARKING STALLS	2.75M X 6M	2.75M X 6M	

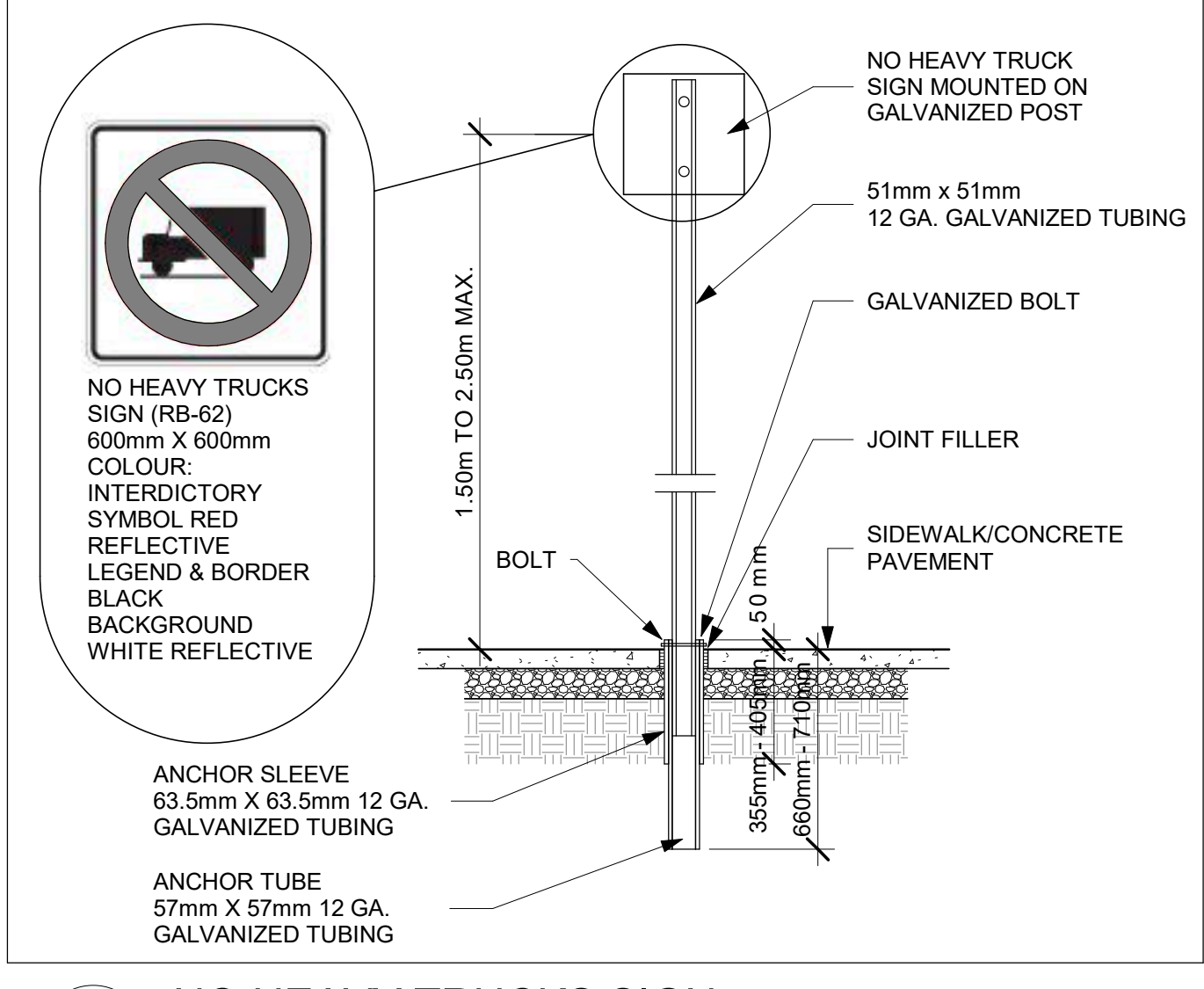
STATISTICS

AREA:	VALUE
SITE AREA:	± 78.50 HA
STREET A:	± 1.74
PHASE 1:	± 34.07 HA
PHASE 2:	± 42.70 H
BUILDING DC 1:	±143,222 SM
TOTAL GROSS BUILDING AREA:	±143,222 SM
PARKING:	
ZONING REQUIREMENT AS PER COMPREHENSIVE ZONING BY-LAW 2006-50: 168 + 1/1170 m ² (OF NFA OVER 20,000SM)	
REQUIRED PARKING STANDARD:	893 PARKING SPACES
TOTAL PARKING PROPOSED:	685 PARKING SPACES
REQUIRED ACCESSIBLE PARKING SPACES:	20 PARKING SPACES
TOTAL ACCESSIBLE PARKING SPACES PROPOSED:	20 PARKING SPACES
TRAILER PARKING:	
BUILDING DC 1:	362 PARKING SPACES
LOADING SPACES:	
*ZONING REQUIREMENT AS PER COMPREHENSIVE ZONING BY-LAW: GFIA 7.441 SM OR GREATER IS 3+1 ADDITIONAL SPACE FOR EACH ADDITIONAL 9,300 SM OR PORTION THEREOF IN EXCESS OF 7,441 SM	
REQUIRED LOADING SPACES:	18 LOADING SPACES
TOTAL LOADING SPACES PROPOSED:	270 LOADING SPACES AT OH DOCK DOORS
LANDSCAPE:	
TOTAL LANDSCAPE AREA:	±43,062 SM
SOFTSCAPE:	±40,067 SM
HARDSCAPE:	±2,995 SM
COVERAGE:	42.04% (BLOCK 1)

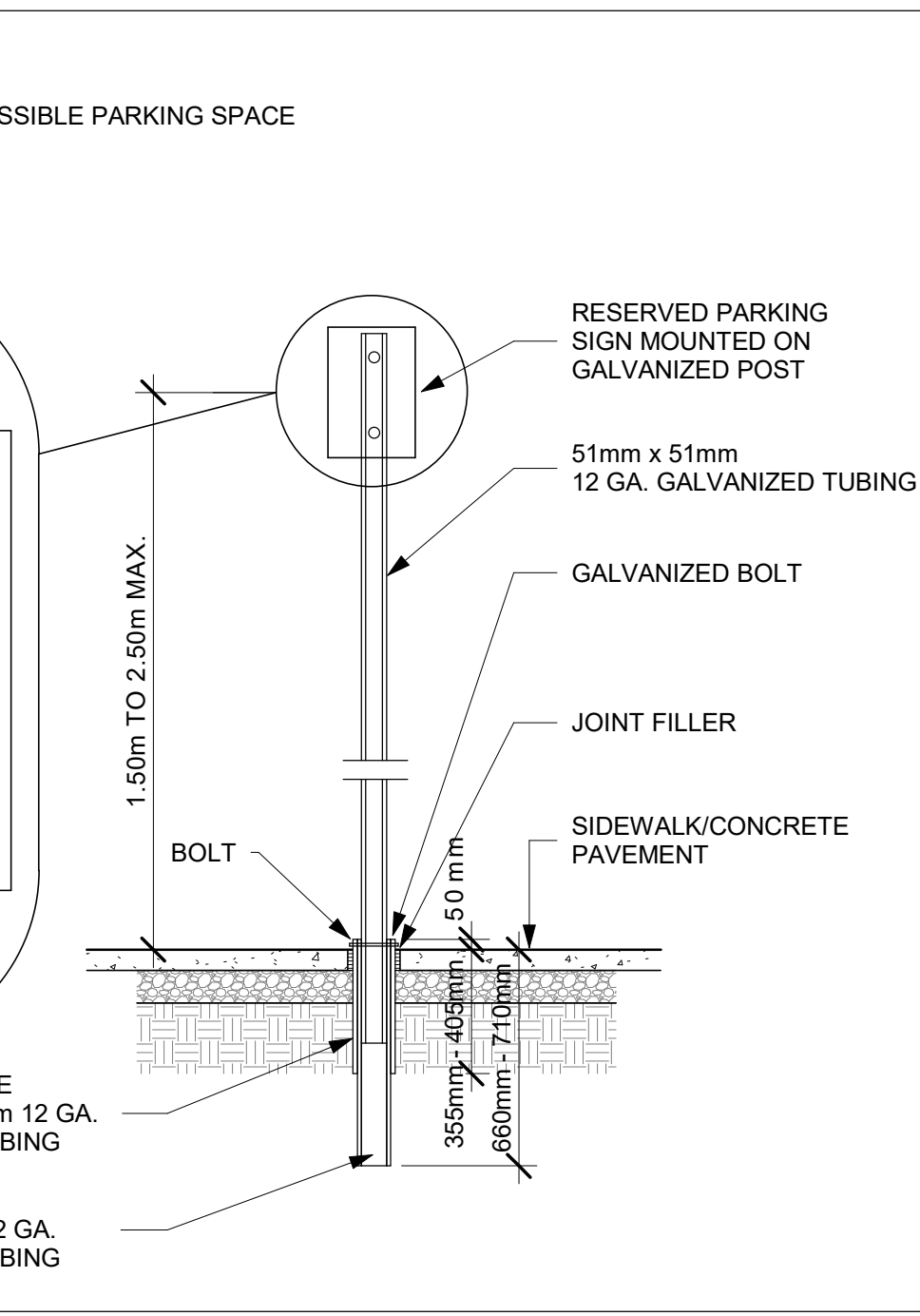
BICYCLE PARKING	VALUE
REQUIRED SHORT TERM BICYCLE PARKING	3 BICYCLE PARKING SPACES
WAREHOUSE (143,047 SM):	17 BICYCLE PARKING SPACES
TOTAL BICYCLE PARKING SPACES PROPOSED:	20 BICYCLE PARKING SPACES
ELECTRIC VEHICLE CHARGING	VALUE
PERCENTAGE OF EV READY SPACES:	5%
TOTAL NO. OF EV READY SPACES PROVIDED:	35
URBAN HEAT ISLAND	VALUE
TOTAL AREA OF NON-ROOF HARDSCAPE AREA:	±21,502 SM
TOTAL AREA OF TREATED NON-ROOF HARDSCAPE AREA:	±10,517 SM
TOTAL AREA OF HIGH-ALBEDO SURFACE MATERIAL:	±3,128 SM
TOTAL AREA OF SHADE FROM TREE CANOPY:	±8,949 SM
TOTAL AVAILABLE ROOF AREA:	±143,222 SM
TOTAL AVAILABLE ROOF AREA TREATED WITH A COOL ROOF:	±143,222 SM
% OF ROOF AREA TREATED WITH HEAT ISLAND STRATEGY:	100%

TOWN OF CALEDON
 PLANNING RECEIVED
 Dec 17, 2024

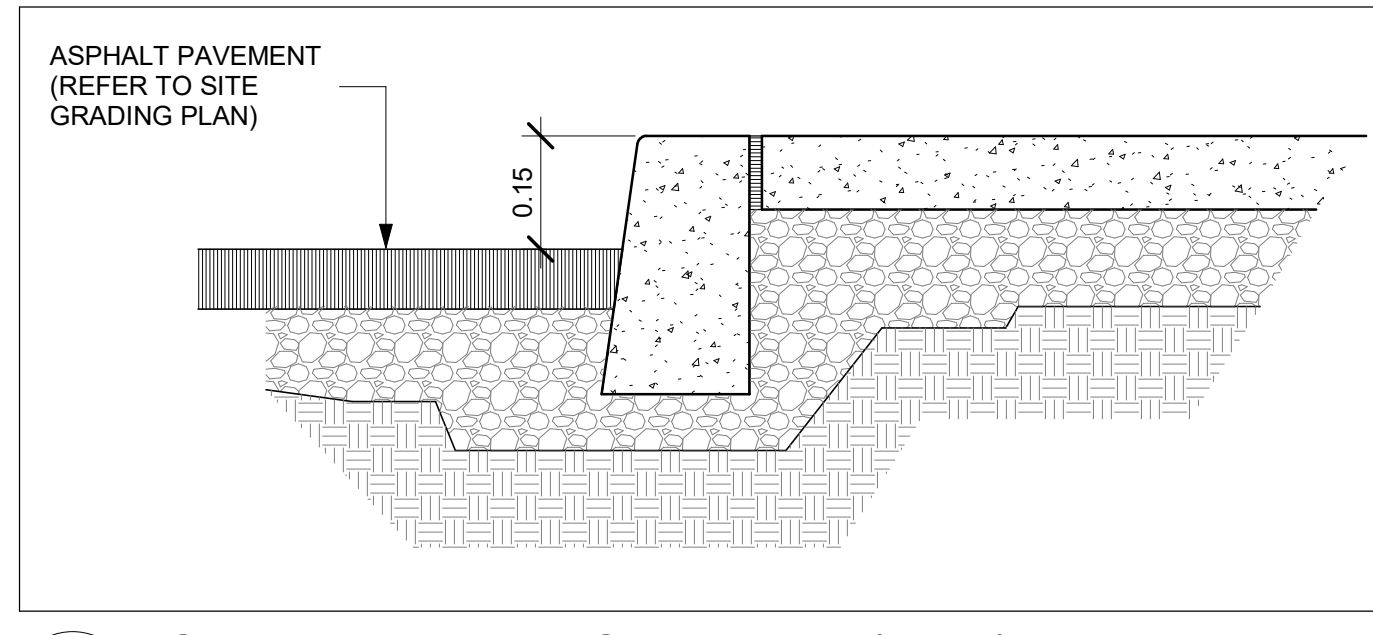
2024-11-20 6:34:07 PM



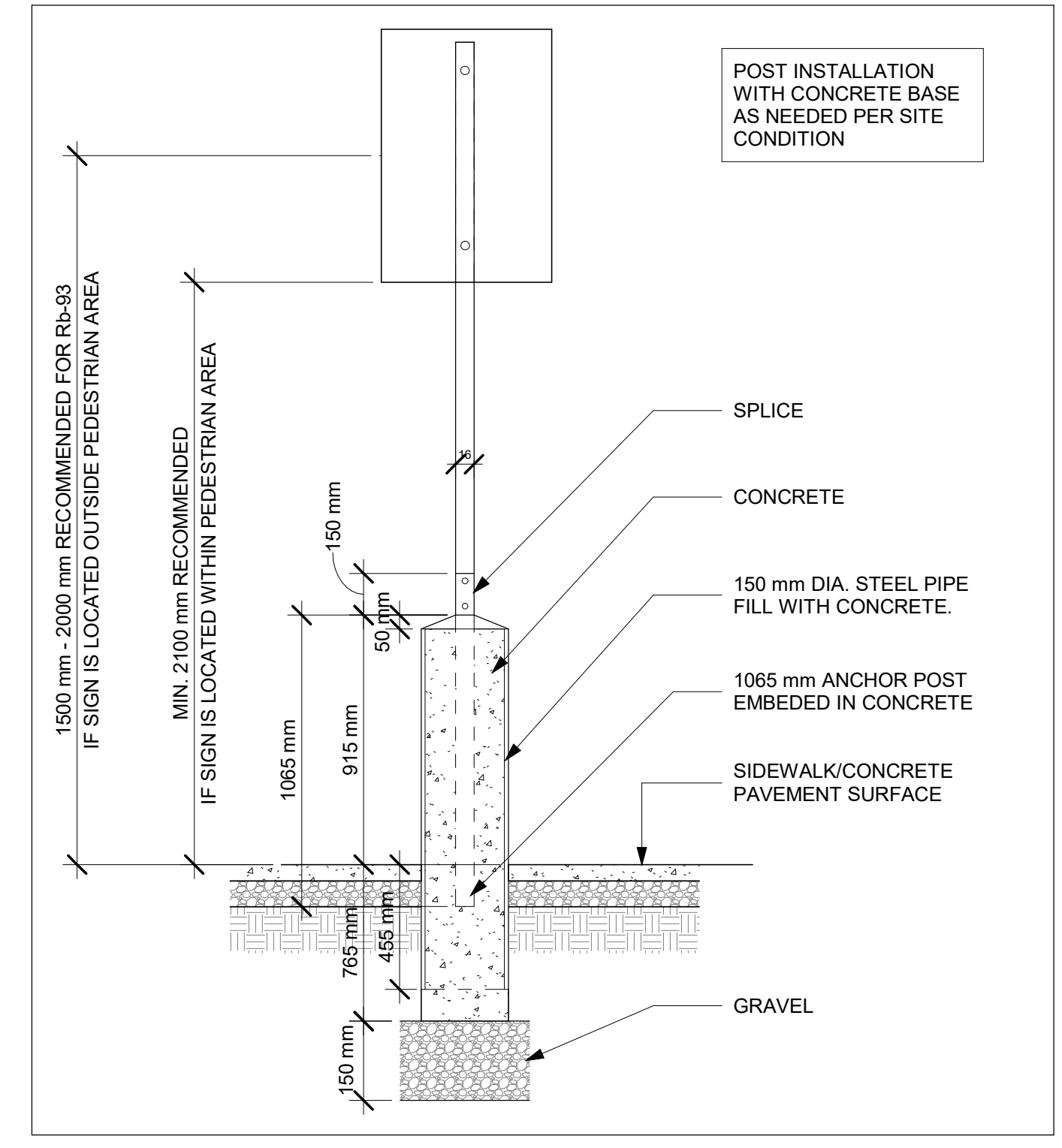
4 NO HEAVY TRUCKS SIGN
A100.3 Scale: 1 : 10



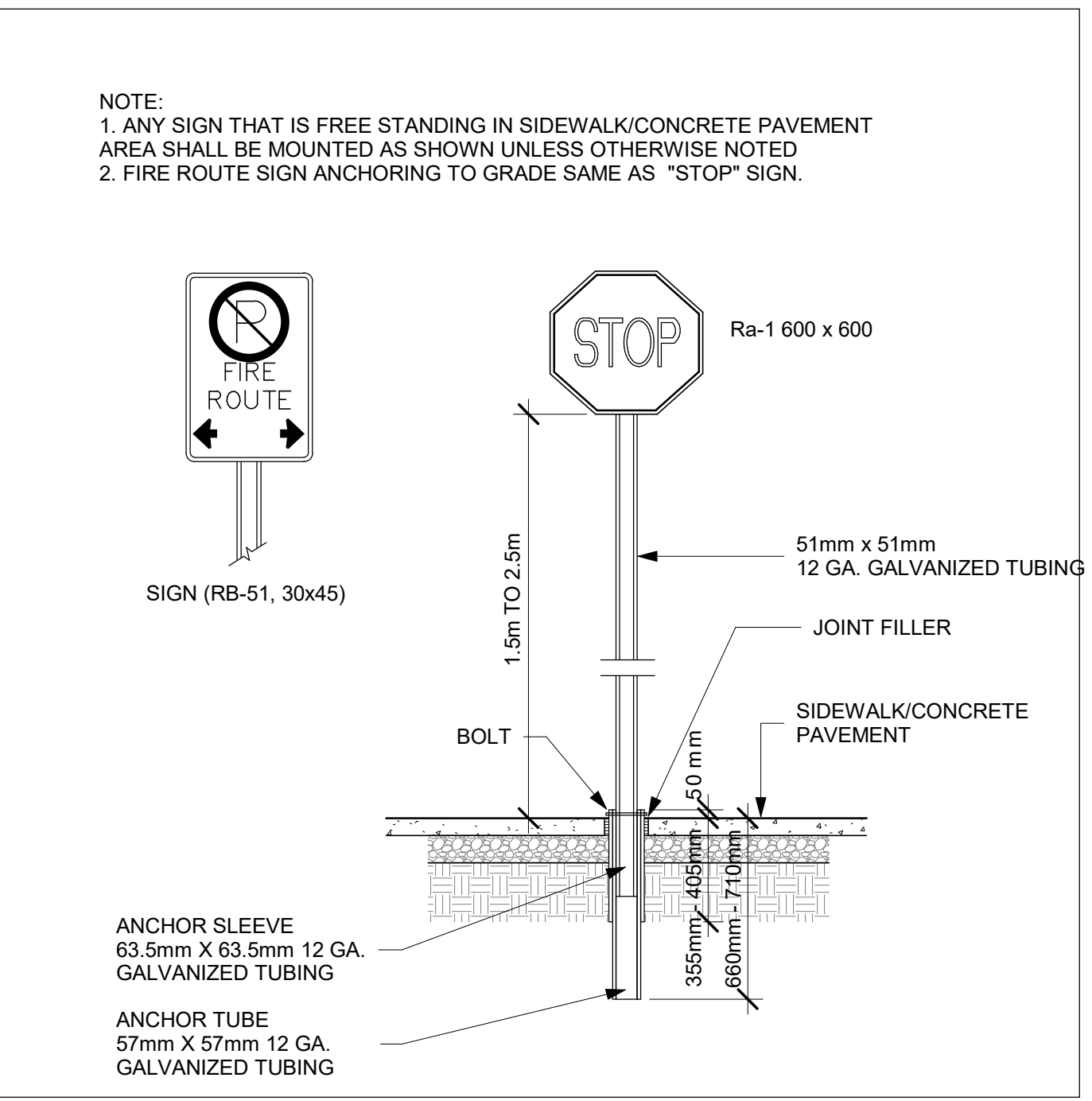
7 RESERVED ACCESSIBLE PARKING SIGN
A100.3 Scale: 1 : 10



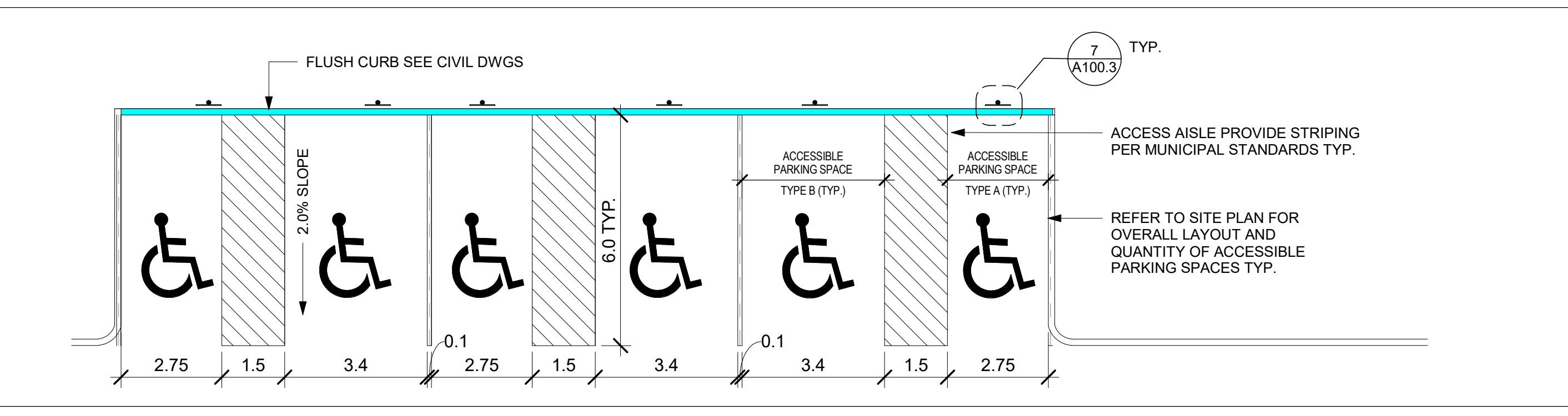
11 CURB DETAIL AT SIDEWALK (TYP.)
A100.3 Scale: 1 : 10



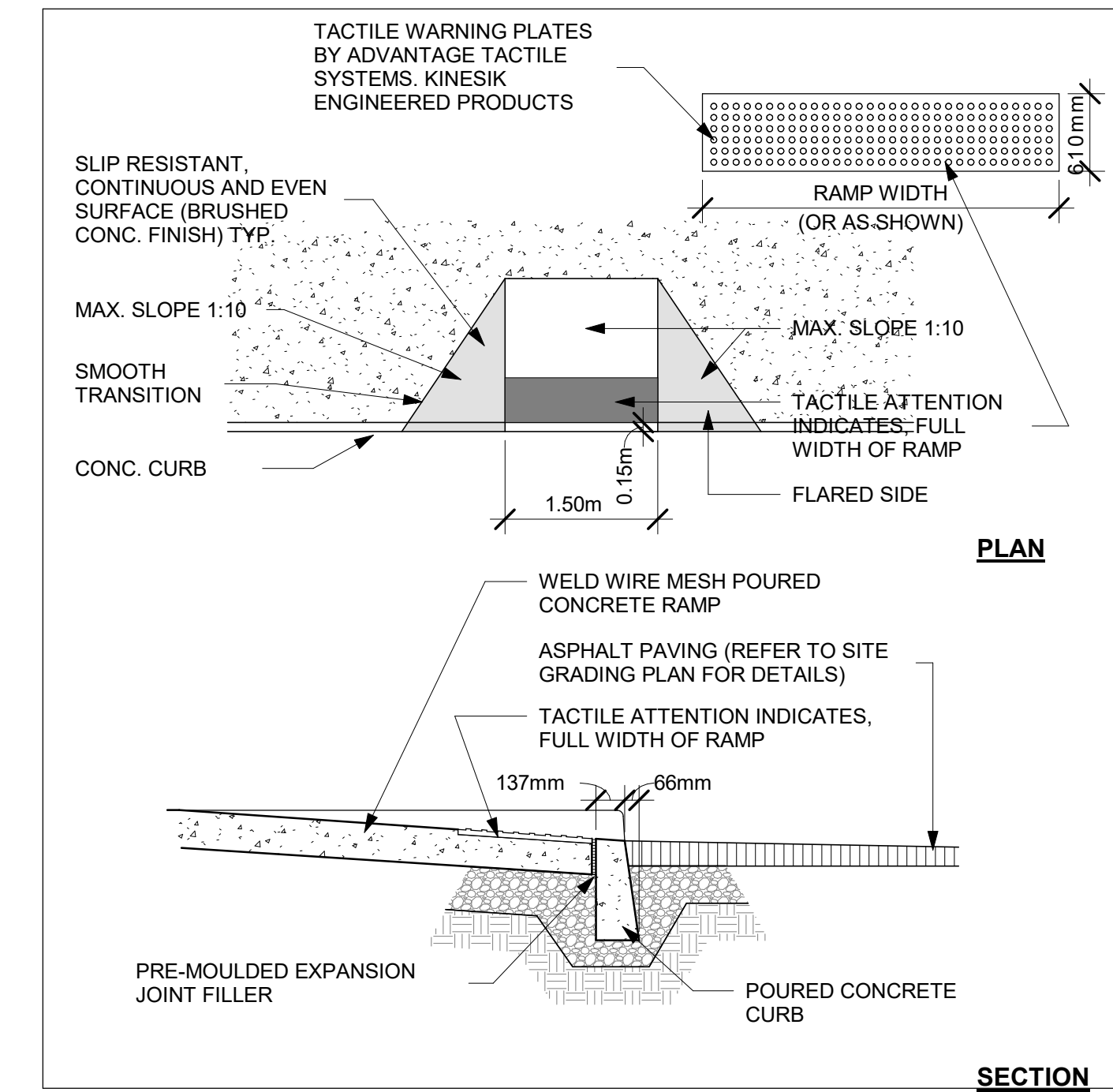
13 POST PROTECTION AS REQUIRED
A100.3 Scale: 1 : 5



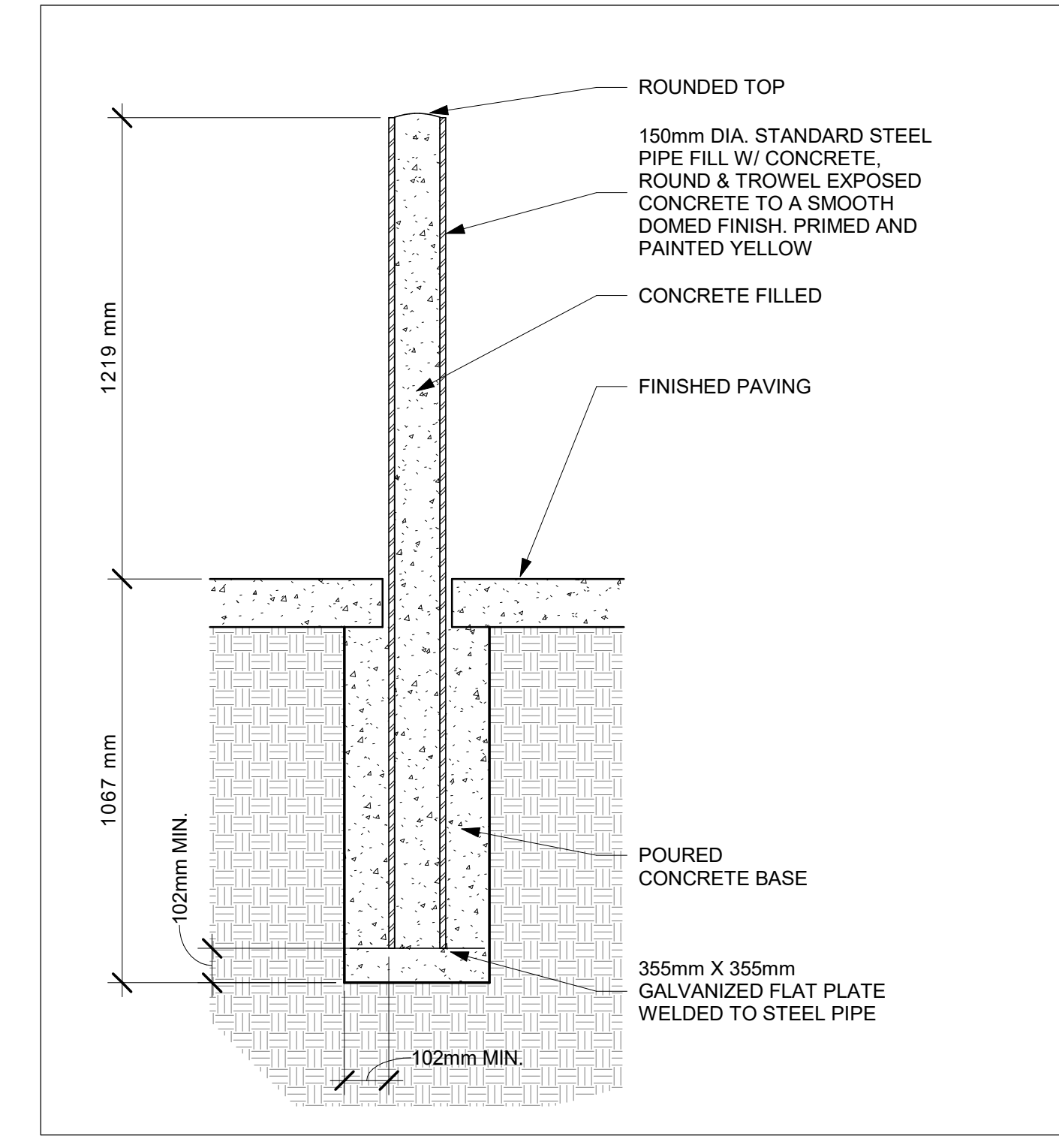
6 FIRE ROUTE & STOP SIGNS
A100.3 Scale: 1 : 10



12 ACCESSIBLE PARKING SPACES (TYP.)
A100.3 Scale: 1 : 100



5 ACCESSIBLE CURB RAMP
A100.3 Scale: 1 : 10



9 BOLLARD DETAIL (TYP.)
A100.3 Scale: 1 : 15

2024-11-20 6:34:48 PM

REV #	DATE	REVISION TITLE
1	NOV. 22, 2024	ISSUED FOR SPA SUBMISSION 1B

PROJECT NO: 22095.00	<input checked="" type="checkbox"/> NOT RELEASED FOR CONSTRUCTION
DRAWN BY: TL	<input type="checkbox"/> RELEASED FOR CONSTRUCTION
CHECKED BY: RBC	

PROJECT TITLE:

HUMBER STATION DC1

TOR02790
HUMBER STATION ROAD
CALEDON, ONTARIO

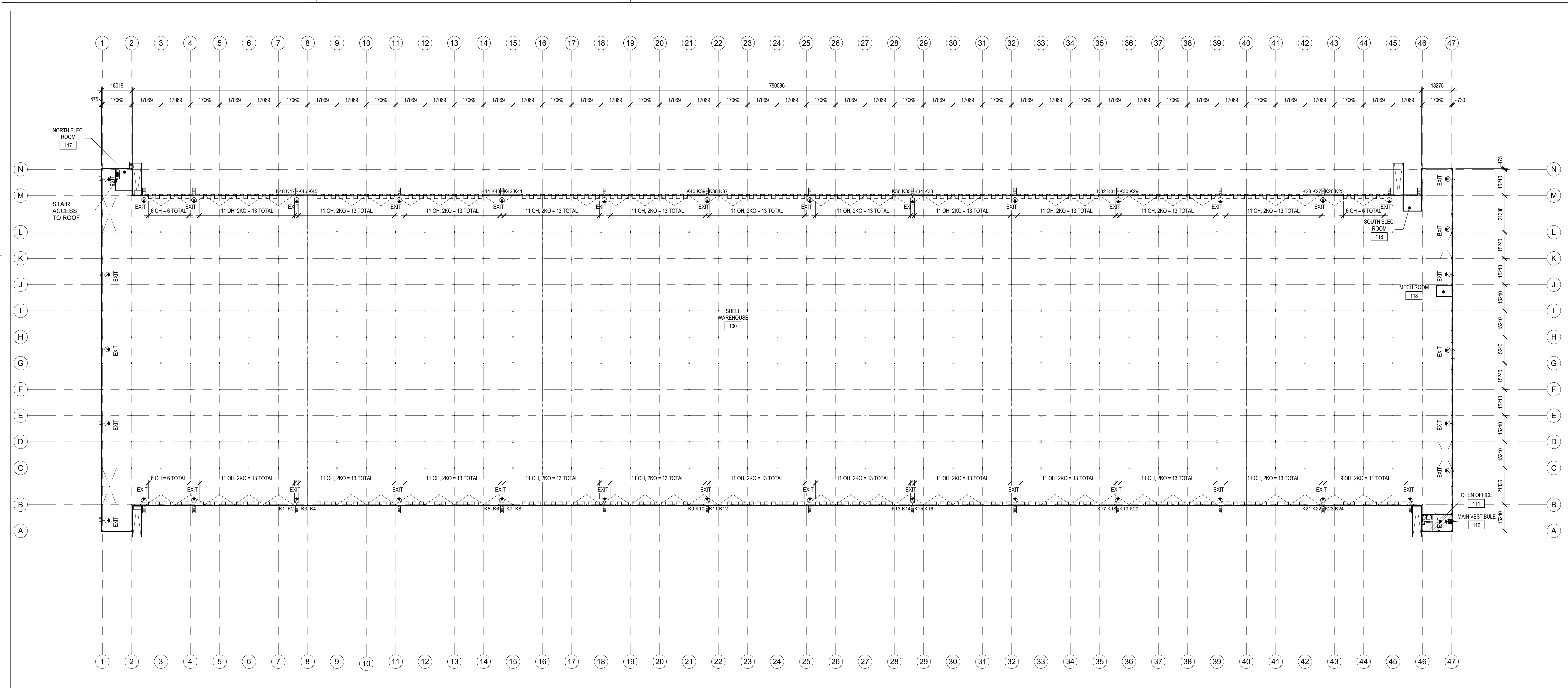
PROLOGIS
Prologis Inc. (Canada)
185 The West Mall, Suite 700, Toronto
647-258-2600

https://www.prologis.com

SHEET TITLE:
SITE PLAN - DETAIL

SEAL:

SHEET NO.: **A100.3**



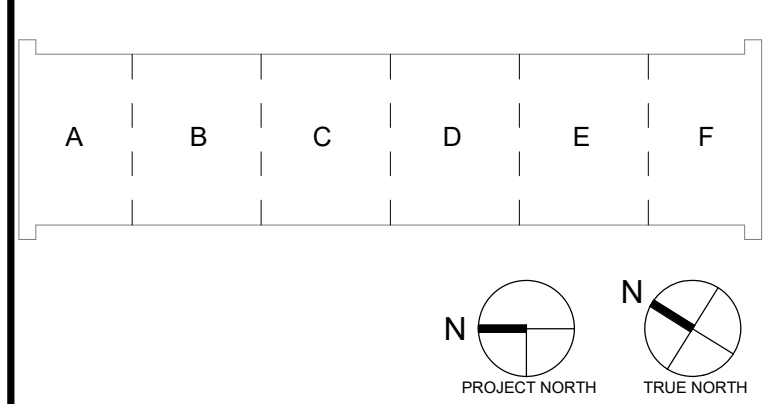
A1 OVERALL FLOOR PLAN
 A101 Scale: 1 : 1000



MATERIAL LEGEND

- A. REF ENLARGED FLOOR PLANS FOR ADDITIONAL INFORMATION.
- PROVIDE 10 MM VAPOR BARRIER AT OFFICE AREA UNDER THE SLAB. PROVIDE 4MM VAPOR BARRIER AT ALL OTHER AREAS UNDER SLAB.

BUILDING KEY PLAN:



REV #	DATE	REVISION TITLE
1	APR. 19, 2024	ISSUED FOR SPA
2	NOV. 22, 2024	ISSUED FOR SPA SUBMISSION 1B

PROJECT NO: 22095.00
 DRAWN BY: TL
 CHECKED BY: RBC

PROJECT TITLE: HUMBER STATION DC1

TOR02790
 HUMBER STATION ROAD
 CALEDON, ONTARIO

PROLOGIS
 Prologis Inc. (Canada)
 185 The West Mall, Suite 700, Toronto
 647-258-2600

https://www.prologis.com

SHEET TITLE: **OVERALL FLOOR PLAN**

SEAL: ARCHITECTS
 ALY HAMOY
 LICENCE 9766

SHEET NO. **A101**

EXTERIOR WALL LEGEND

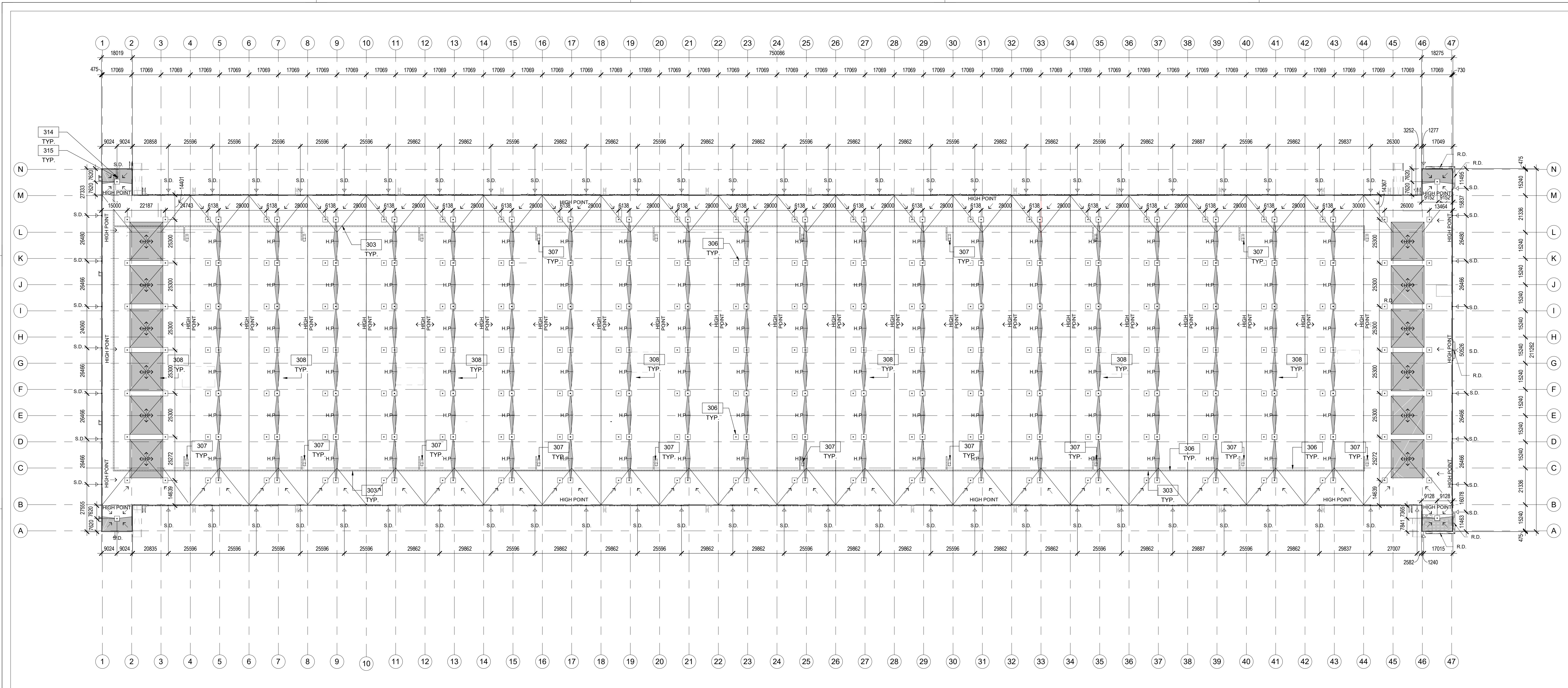
- PRECAST CONCRETE INSULATED WALL PANEL, MIN. R20 SMOOTH FINISH, PAINTED.
- CURTAIN WALL CLADDING AND GLAZING SYSTEM WITH TINTED INSULATED GLASS AND NATURAL ANODIZED ALUMINIUM FRAMING. PROVIDE VISUAL MARKERS FOR BIRD FRIENDLY GLAZING SEE SPECIFICATION SECTION.
- GLAZED SPANDREL CURTAIN WALL (OFFICE AREA)
 - INSULATED GLASS SPANDREL PANEL WITH SPANDREL INSULATION FILLED GALVANIZED BACK PANL. PROVIDE VISUAL MARKERS FOR BIRD FRIENDLY GLAZING SEE SPECIFICATION SECTION.
 - 52mm (3 5/8") STEEL STUDS @ 400mm (16") O.C. (152mm ABOVE CEILING)
 - 39mm (1 1/2") METAL FURRING (152mm ABOVE CEILING)
 - FILL VOID WITH FIBERGLASS BATT INSULATION (R19)
 - 6 MIL POLYETHYLENE VAPOR BARRIER MEMBRANE
 - 16mm (5/8") GYPSUM BOARD. PAINTED REFER TO ROOM FINISH SCHEDULE (152mm ABOVE CEILING)

INTERIOR WALL LEGEND

- FOR WALL TYPE SCHEDULE, SEE A801.
- 1 HR FIRE RATED WALL PARTITION WALL (U.L.C. W408)
 - 16mm (5/8") TYPE-C FIRE RETARDED GYPSUM BOARD ON BOTH SIDES
 - 152mm (6") STEEL STUDS @ 16" O.C.
 - 102mm (4") SOUND ATTENUATION BATT INSULATION
 - PROVIDE FIRESTOPPING & SMOKE SEAL AT ALL PENETRATIONS
 - * REFER TO ULC MANUAL.
 - FURRING PARTITION:
 - 16mm (5/8") GYPSUM BOARD
 - 6 MIL POLYETHYLENE VAPOR RETARDANT MEMBRANE
 - 152mm (6") STEEL STUDS @ 400mm (16") O.C. TO 12'-0" A.F.F. (MAX)
 - 152mm (6") FIBERGLASS BATT INSULATION
 - 1 HR CMU WALL
 FULL HEIGHT 1HR FIRE RATED WALL CMU TO 3600mm A.F.F.

SYMBOLS LEGEND

- DOOR NUMBER TAG. SEE A113.01 FOR DOOR SCHEDULE.
- ROOM NAME AND NUMBER TAG
- PROPOSED CROSS BRACING. SEE STRUCTURAL DRAWINGS.
- PROPOSED RAIN WATER LEADER. SEE MECHANICAL AND STRUCTURAL DRAWINGS.
- ILLUMINATED EMERGENCY EXIT SIGN ABOVE DOOR WITH BATTERY POWERED BACK-UP. SEE ELEC. DWGS.



2 OVERALL ROOF PLAN.
Scale: 1 : 1000

A120 ROOF PLAN NOTES

301	SINGLE PLY TPO ROOF (R-30 MIN) - 100% OF THE ROOFING AREA WILL HAVE A TPO MEMBRANE THAT COMPLIES WITH THE REQUIREMENT OF A MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 82 FOR INDUSTRIAL BUILDINGS (AS PER COOL ROOF ALTERNATIVE TO THE GREEN ROOF REQUIREMENTS FOR INDUSTRIAL BUILDINGS) 80 mil REINFORCED TPO MEMBRANE. REFER TO SPEC FOR ADHERED AND MECHANICAL FASTEN ROOFING SYSTEM. WHITE.
303	TPO MEMBRANE WALKING PADS.
305	INDICATE LOCATION OF UNIT CENTRE BETWEEN JOISTS.
306	CONTROL FLOW ROOF DRAINS. SEE MECH DRAWINGS.
307	ROOFTOP UNIT. SEE MECH. DRAWINGS. PROVIDE SLOPE INSULATION/CRICKETS AROUND BASE OF ROOF CURB AND SUPPORTING RAIL AS REQUIRED. GC TO COORDINATE LOCATION OF UNIT CENTRE BETWEEN JOIST.
308	SLOPED INSULATION CRICKET.
309	LINE OF STRUCTURAL FRAMING BELOW DECK (HIDDEN).
310	SIGNAGE POSTED ON ROOF ACCESS HATCH TO READ: ALL ROOF DRAINS ARE CONTROL FLOW. THEY ARE TO REMAIN FUNCTIONING IN THIS MANNER.
313	ROOF EXPANSION JOINT. SEE DETAIL 10A120.01. SEE STRUCTURAL DRAWINGS.
314	ROOF ACCESS HATCH FACTORY-ASSEMBLED INSULATED HOLLOW ALUM FRAME AND SKYLIGHT COVER EQUAL TO BILCO TYPE GS. COMPLETE WITH OPERATING, LOCKING AND RELEASE HARDWARE (814mm X 914mm). WITH SAFETY RAILING SYSTEM.
315	ROOF ACCESS HATCH SAFETY RAILING SYSTEM. MANUFACTURER'S STANDARD ACCESSORY SAFETY RAILING SYSTEM MOUNTED DIRECTLY TO CURB. WITH AUTOMATIC CLOSING GATE.
426	PREFINISHED ALUMINUM COMPOSITE PANEL CANOPY ALUCOBOND SYSTEM SL2000 COLOUR: PVDF 3 SILVER METALLIC.

ROOF LEGEND

H.P.	ROOF HIGH POINT
L.P.	ROOF LOW POINT
R.D. @	ROOF DRAIN
S.D.	SCUPPER DRAIN
[Symbol]	ROOF HATCH
[Symbol]	ROOFTOP UNIT. SEE MECH. DWGS.
[Symbol]	INSULATION SUMP AT PROPOSED ROOF DRAIN
[Symbol]	BUILT-UP RIGID INSULATION ROOF CRICKET
[Symbol]	FLOW LINE TO DRAIN
[Symbol]	STRUCTURAL FRAMING BELOW ROOF DECK (HIDDEN). SEE STRUCT. DWGS.
[Symbol]	ROOF WALKWAY PADS.

- GENERAL ROOF NOTES**
- ALL GAS PIPING ON ROOF SHALL BE PAINTED BY MECHANICAL CONTRACTOR.
 - COORDINATE WITH ARCHITECTURAL & MECHANICAL DWGS. FOR ALL ROOF OPENING SIZES & LOCATIONS. FOR ALL MECH. EQUIPMENT, REFER TO MECHANICAL DWGS.
 - ROOF CURBS TO BE PROVIDED FOR ALL MECHANICAL EQUIPMENT THAT ARE NOT SUPPORTED WITH THEIR OWN CURBS.
 - ALL CURBS TO BE BUILT LEVEL.
 - FOR SIZE AND LOCATION OF GAS PIPES, REFER TO MECHANICAL DRAWINGS.
 - INSTALL STEEL BURGLER BARS TO PROTECT ROOF OPENINGS LARGER THAN 12"x12" T.B.D.
 - ROOF MEMBRANE SUPPLIER TO PROVIDE ROOF MODIFIED BITUMEN WALKWAYS.
 - ALL RECESSED MECHANICAL ROOF WELLS FULLY TAPERED WITH 2% SLOPE TO DRAINS. TYP. ALL DRAIN SUMPS FULLY TAPERED WITH 2% SLOPES TO DRAIN. TYP.
 - NOTE: AT ALL ROOF PERIMETERS AND ALL WALL ROOFS WHERE EQUIPMENT REQUIRES SERVING WITHIN 10' OF ROOF EDGES, INSTALL ROOF EDGE GUARD/TRAVEL RESTRAINT, TYP.
 - ROOF CRICKET SURFACE TO ACHIEVE 1/4" / 12" SLOPE MINIMUM WITH 1/8" / 12" MINIMUM AT VALLEY
 - ALL DOWNSPOUTS COLLECTOR HEADS AND DOWNSPOUTS TO BE PREFINISHED METAL. REF SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ROOF SYSTEM TYPE**
- SINGLE - PLY TPO ROOF (R30-MIN) - 100% OF THE ROOF SPACE TPO MEMBRANE TO COMPLY WITH THE REQUIREMENTS OF A MINIMUM SOLAR REFLECTANCE INDEX (SRI) OF 82 FOR INDUSTRIAL BUILDINGS (AS PER COOL ROOF ALTERNATIVE TO THE GREEN REQUIREMENTS FOR INDUSTRIAL BUILDINGS).
- ROOF CONSTRUCTION:**
- 80 mil REINFORCED TPO MEMBRANE MECHANICALLY ATTACHED TO
 - 13mm INSULATION OVERLAY BOARD
 - TWO LAYERS OF 75mm RIGID INSULATION (R-30 MIN) W/ STAGGERED JOINTS
 - CONTINUOUSLY SEALED VAPOUR BARRIER
 - 13mm ROOF BOARD (SHEATHING)
 - 38mm METAL ROOF DECK O.W.S.J. (SEE STRUCTURALLY DWGS)
- NOTE:** ROOF NOT INTENDED TO BE USED FOR STORM WATER STORAGE. BOTTOM OF OVERFLOW SCUPPERS LOCATED MAXIMUM 150mm ABOVE LOW POINT OF ROOF (ROOF DRAIN ELEVATIONS)

BUILDING KEY PLAN:

A B C D E F

PROJECT NORTH

REV #	DATE	REVISION TITLE
1	APR. 19, 2024	ISSUED FOR SPA
2	NOV. 22, 2024	ISSUED FOR SPA SUBMISSION 1B

PROJECT NO: 22095.00

DRAWN BY: TL

CHECKED BY: RBC

PROJECT TITLE:

HUMBER STATION DC1

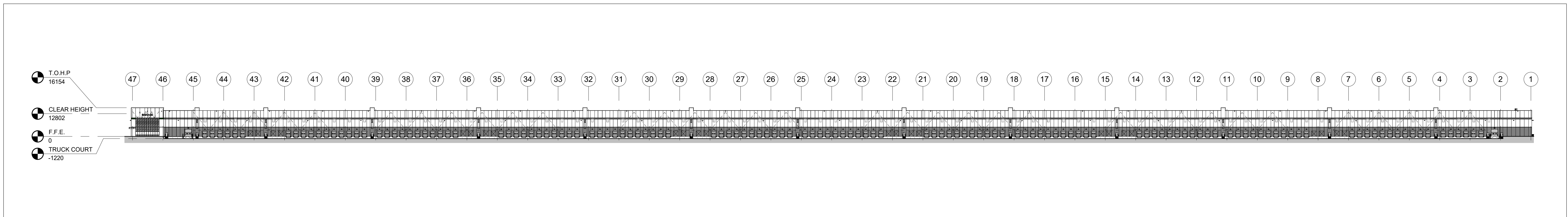
TOR02790
HUMBER STATION ROAD
CALEDON, ONTARIO

PROLOGIS
Prologis Inc. (Canada)
185 The West Mall, Suite 700, Toronto
647-258-2600
https://www.prologis.com

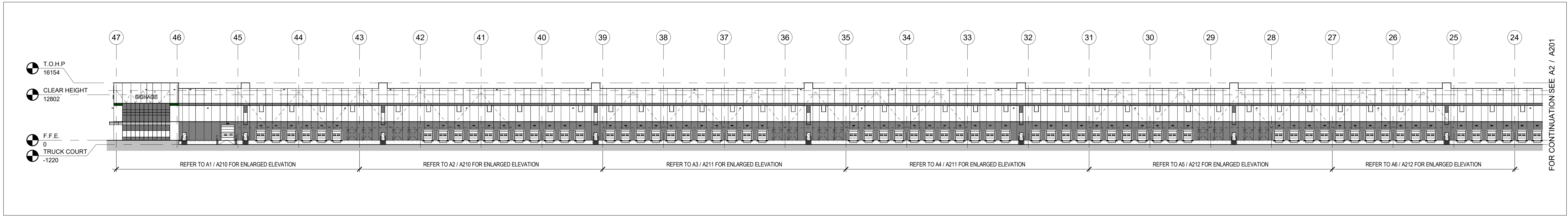
SHEET TITLE:
OVERALL ROOF PLAN

SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**
ALY HAMDY
LICENCE 9786

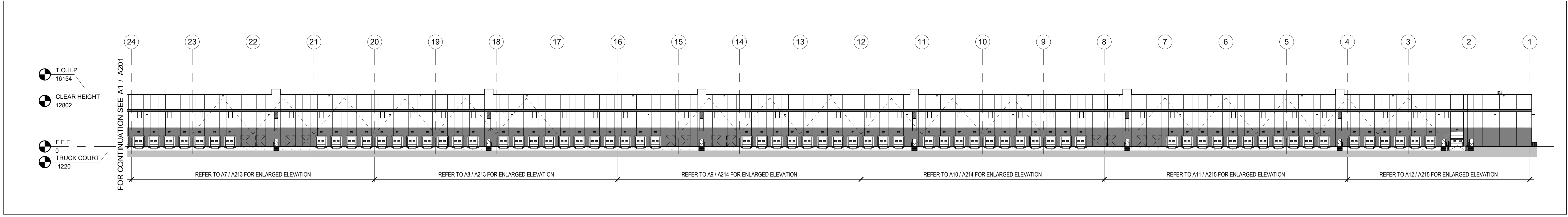
SHEET NO.
A120



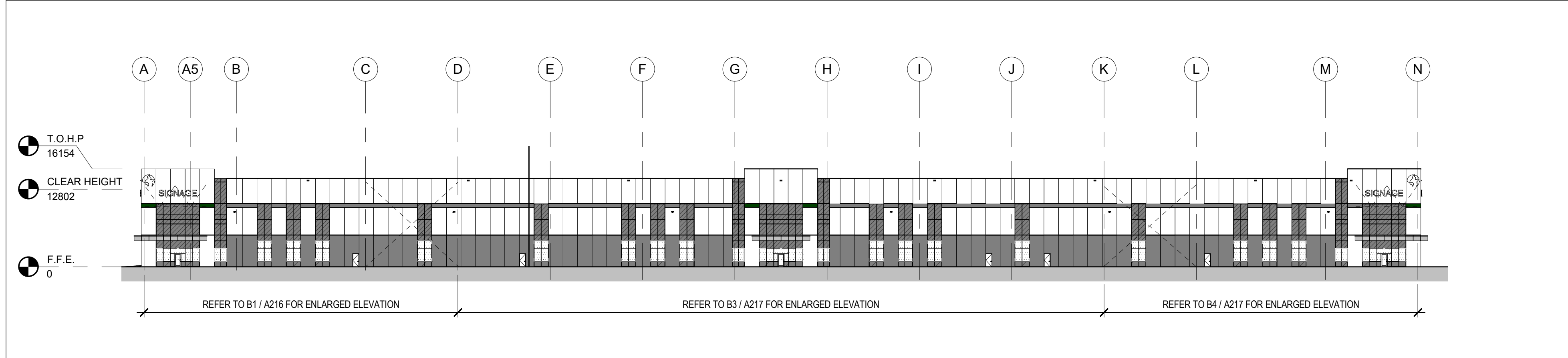
A .OVERALL EAST ELEVATION
A201 Scale: 1 : 1000



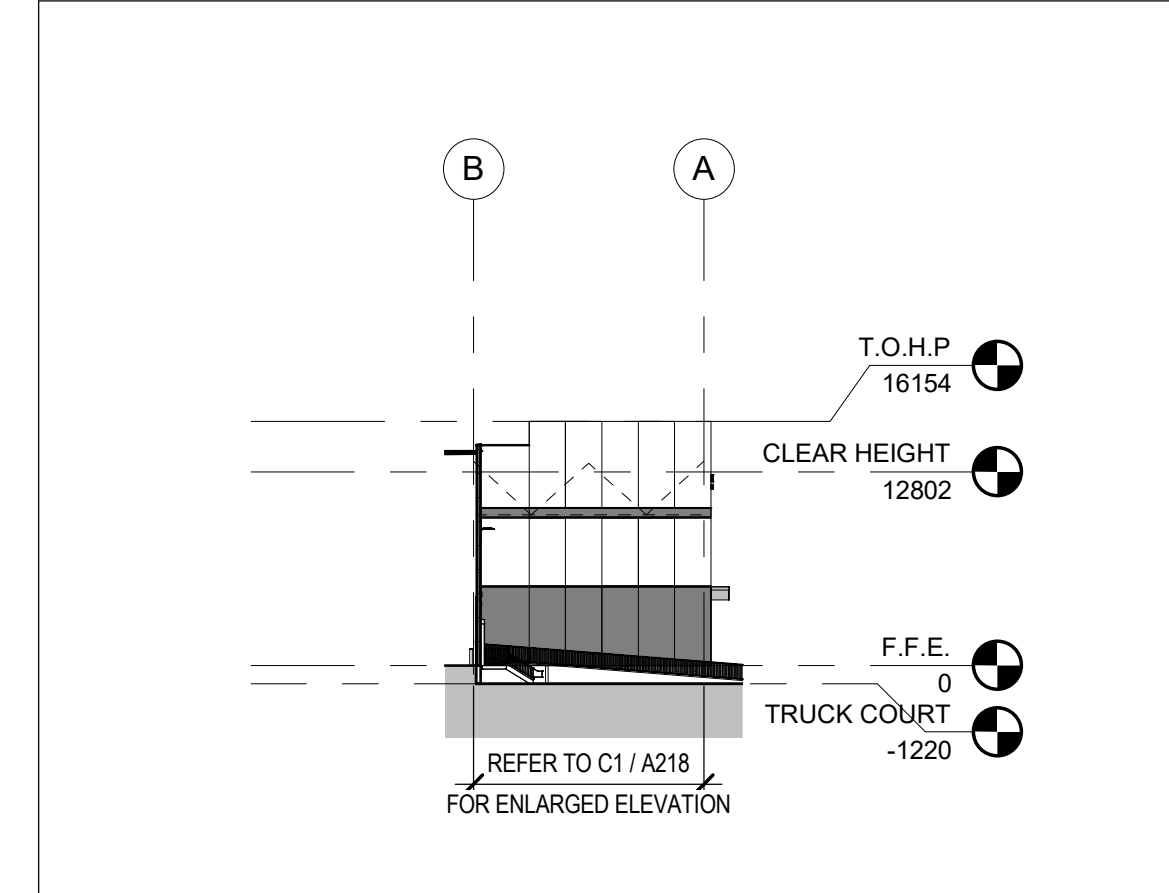
A1 .EAST ELEVATION - PART A
A201 Scale: 1 : 500



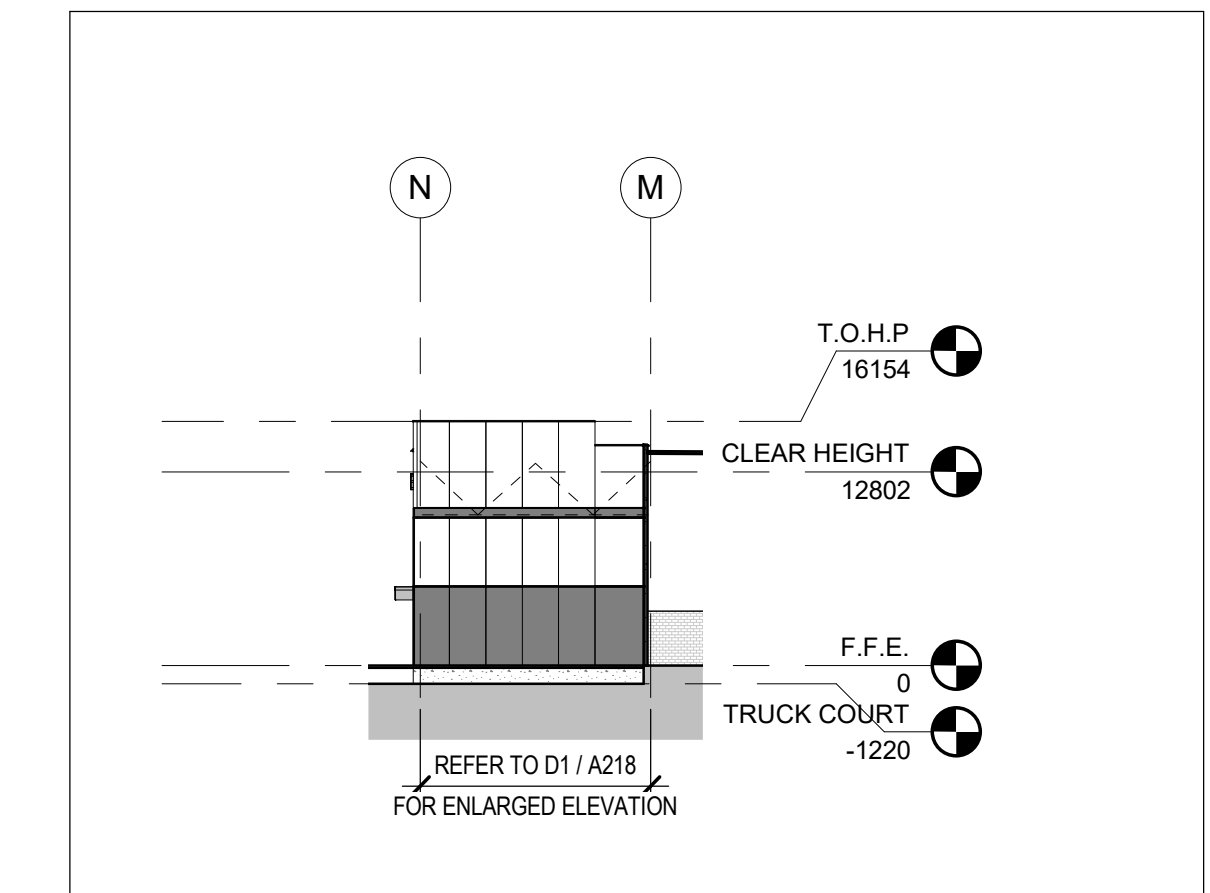
A2 .EAST ELEVATION - PART B
A201 Scale: 1 : 500



B .SOUTH ELEVATION
A201 Scale: 1 : 500



C .SOUTHWEST ELEVATION
A201 Scale: 1 : 500



D .SOUTHEAST ELEVATION
A201 Scale: 1 : 500

BIRD FRIENDLY DESIGN STATISTICS

TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 16M ABOVE GRADE:	±1498.6 SM
TOTAL AREA OF TREATED GLAZING:	±1498.6 SM
PERCENTAGE OF TREATMENT AREA PROPOSED:	100%
NORTH	
TOTAL GLAZING AREA:	0
TOTAL AREA TREATED WITH VISUAL MARKERS:	0
TOTAL AREA TREATED WITH SPANDREL GLASS:	0
SOUTH	
TOTAL GLAZING AREA:	720.9 SM
TOTAL AREA TREATED WITH VISUAL MARKERS:	195.1 SM
TOTAL AREA TREATED WITH SPANDREL GLASS:	525.8 SM
EAST	
TOTAL GLAZING AREA:	391.8 SM
TOTAL AREA TREATED WITH VISUAL MARKERS:	249.4 SM
TOTAL AREA TREATED WITH SPANDREL GLASS:	142.4 SM
WEST	
TOTAL GLAZING AREA:	385.9 SM
TOTAL AREA TREATED WITH VISUAL MARKERS:	246.6 SM
TOTAL AREA TREATED WITH SPANDREL GLASS:	139.3 SM

NOTE: ARTIST RENDERING OF BUILDING ISSUED FOR MASSING AND BUILDING CHARACTER ONLY. REFER TO DRAWINGS FOR ALL SPECIFIC DIMENSIONS, GRADING, LIGHTING, LANDSCAPING, SIGNAGE, ETC.

NOTE: PANELS SHALL RECEIVE HIGH-BUILD ACRYLIC COATING. SHERWIN WILLIAMS ULTRACRETE, ONE COAT PRIMER PLUS 2 FINISH COATS AS RECOMMENDED BY PAINT MANUFACTURER.

EXTERIOR WALLS TO INCLUDE 4 BASIC COLOURS, WITH ONE ADDITIONAL ACCENT COLOUR AS SHOWN ON EXTERIOR ELEVATIONS. NO TEXTURE.

NOTE: G.C. TO PROVIDE ALTERNATE PRICE FOR PIGMENTED CONCRETE (STAINING) FOR EXTERIOR PRECAST WALL PANELS INSTEAD OF PAINTING.

NOTE: WAREHOUSE INTERIOR HALL PAINTING TO RECEIVE ONE COAT OF FLAT LATEX PAINT - WHITE.

MATERIALS LEGEND AND GENERAL NOTES

- A. REF ENLARGED ELEVATIONS FOR ADDITIONAL INFORMATION.
- ALUMINUM / PREFINISHED METAL
- SOLID - GRAY - ACCENT PAINT
- SOLID - GRAY (LIGHT) - ACCENT PAINT
- SOLID - DARK GRAY - ACCENT PAINT
- GLAZING - VISION
- GLAZING - SPANDREL
- GLAZING - TEMPERED SPANDREL
- GLAZING - CLEARSTORY
- GLAZING - TREATED WITH VISUAL MARKERS

BUILDING KEY PLAN:

REV #	DATE	REVISION TITLE
1	APR. 19, 2024	ISSUED FOR SPA
2	NOV. 22, 2024	ISSUED FOR SPA SUBMISSION 1B

PROJECT NO: 22095.00	<input type="checkbox"/> NOT RELEASED FOR CONSTRUCTION
DRAWN BY: TL	<input type="checkbox"/> RELEASED FOR CONSTRUCTION
CHECKED BY: RBC	<input type="checkbox"/> RELEASED FOR CONSTRUCTION

PROJECT TITLE:

HUMBER STATION DC1
TOR02790
HUMBER STATION ROAD
CALEDON, ONTARIO

PROLOGIS
Prologis Inc. (Canada)
185 The West Mall, Suite 700, Toronto
647-258-2600

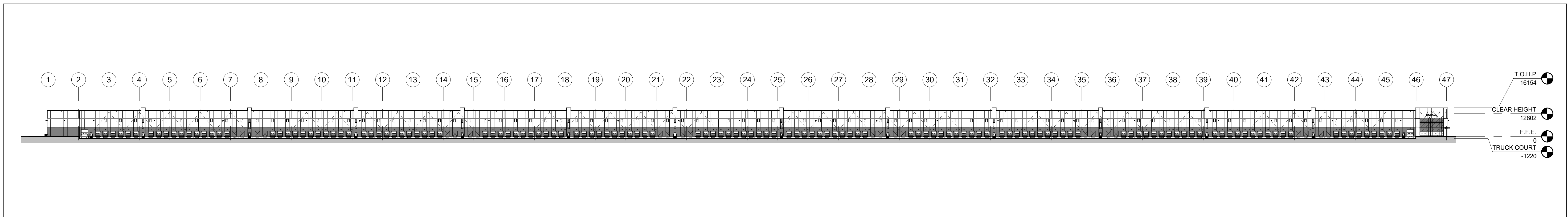


SHEET TITLE:

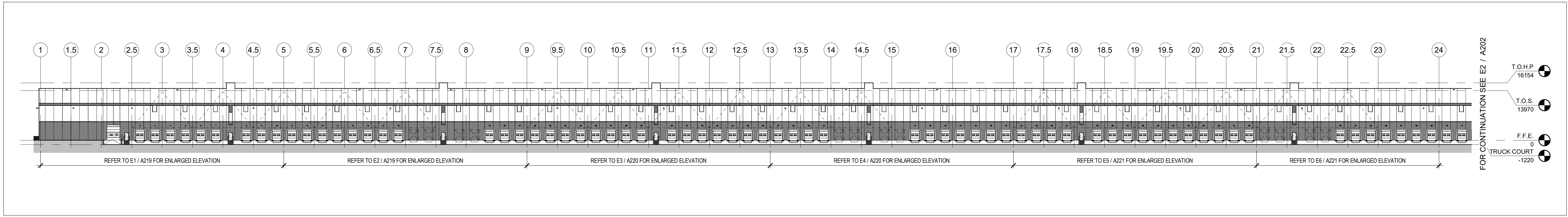
OVERALL BUILDING ELEVATIONS

SEAL: **ONARIO ASSOCIATION ARCHITECTS**
ALY HANADY LICENCE #1818

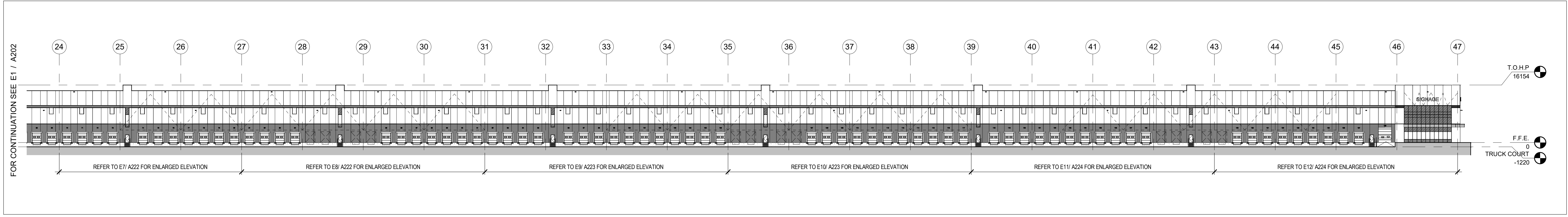
SHEET NO. **A201**



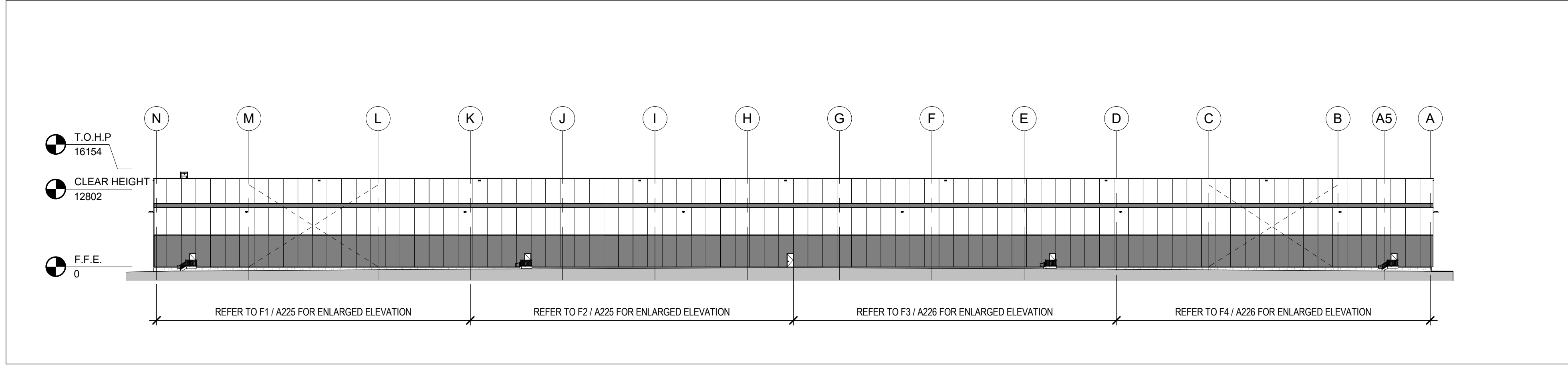
E .OVERALL WEST ELEVATION
A202 Scale: 1 : 1000



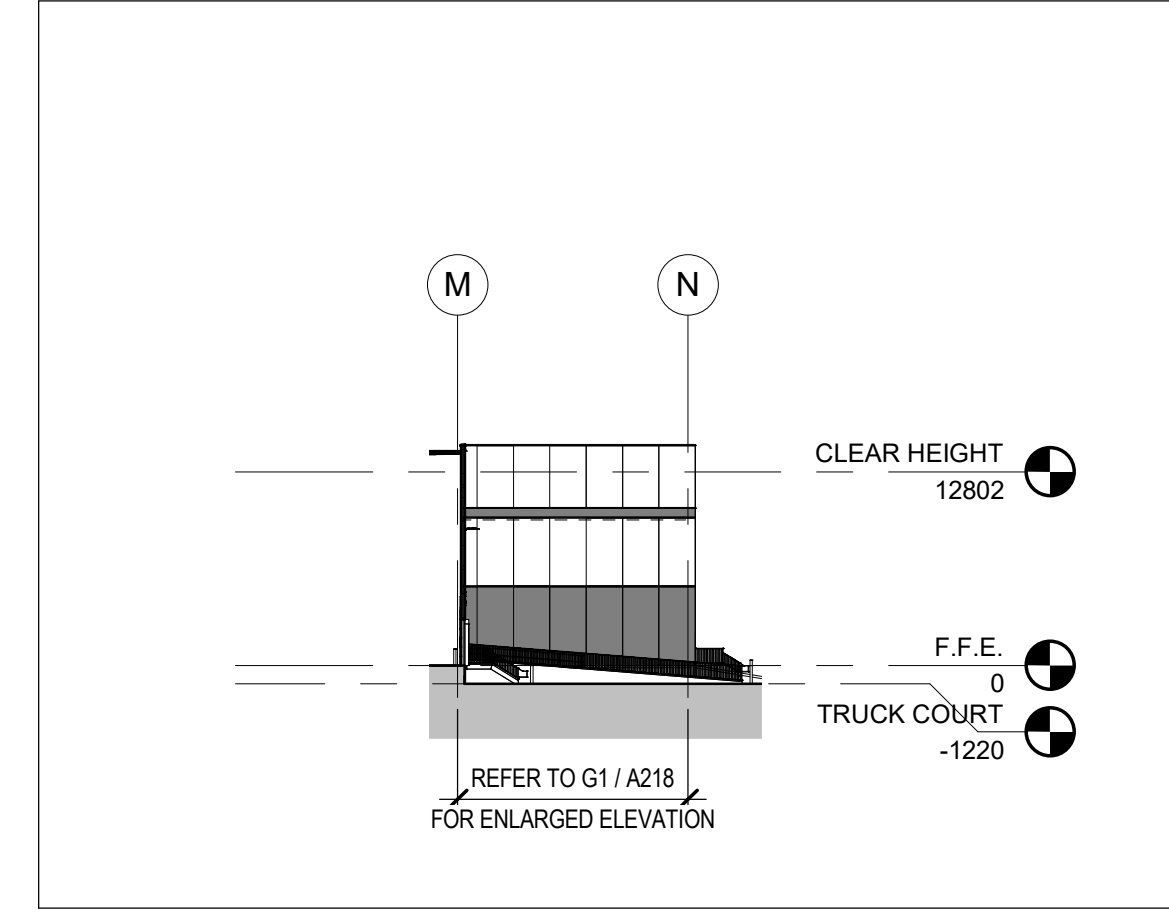
E1 .WEST ELEVATION - PART A
A202 Scale: 1 : 500



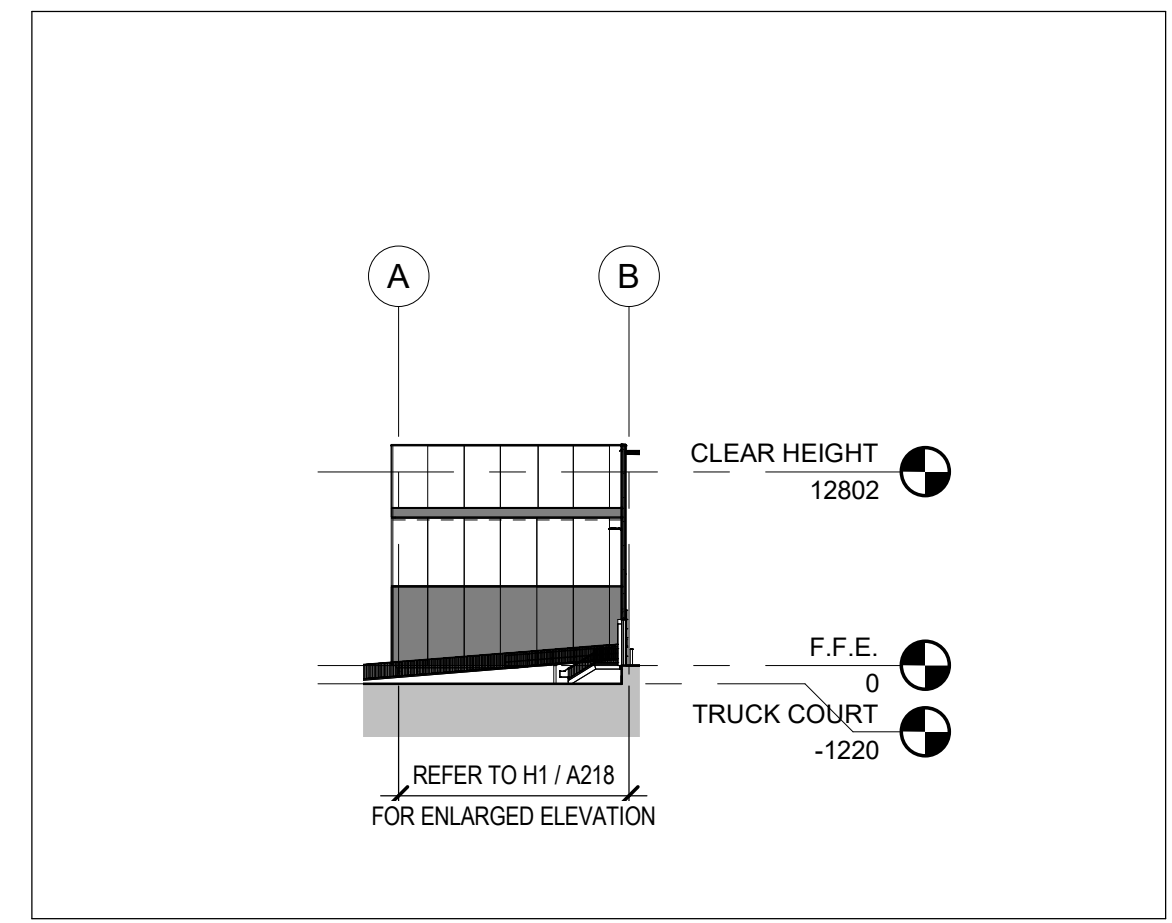
E2 .WEST ELEVATION - PART B
A202 Scale: 1 : 500



F .NORTH ELEVATION
A202 Scale: 1 : 500



G .NORTHEAST ELEVATION
A202 Scale: 1 : 500



H .NORTHWEST ELEVATION
A202 Scale: 1 : 500

BIRD FRIENDLY DESIGN STATISTICS

TOTAL AREA OF GLAZING OF ALL ELEVATIONS WITHIN 16M ABOVE GRADE:	±1498.6 SM
TOTAL AREA OF TREATED GLAZING:	±1498.6 SM
PERCENTAGE OF TREATMENT AREA PROPOSED:	100%
NORTH	
TOTAL GLAZING AREA:	0
TOTAL AREA TREATED WITH VISUAL MARKERS:	0
TOTAL AREA TREATED WITH SPANDREL GLASS:	0
SOUTH	
TOTAL GLAZING AREA:	720.9 SM
TOTAL AREA TREATED WITH VISUAL MARKERS:	195.1 SM
TOTAL AREA TREATED WITH SPANDREL GLASS:	525.8 SM
EAST	
TOTAL GLAZING AREA:	391.8 SM
TOTAL AREA TREATED WITH VISUAL MARKERS:	249.4 SM
TOTAL AREA TREATED WITH SPANDREL GLASS:	142.4 SM
WEST	
TOTAL GLAZING AREA:	385.9 SM
TOTAL AREA TREATED WITH VISUAL MARKERS:	246.6 SM
TOTAL AREA TREATED WITH SPANDREL GLASS:	139.3 SM

NOTE: ARTIST RENDERING OF BUILDING ISSUED FOR MASSING AND BUILDING CHARACTER ONLY. REFER TO DRAWINGS FOR ALL SPECIFIC DIMENSIONS, GRADING, LIGHTING, LANDSCAPING, SIGNAGE, ETC.

NOTE: PANELS SHALL RECEIVE HIGH-BUILD ACRYLIC COATING, SHERWIN WILLIAMS ULTRACRETE, ONE COAT PRIMER PLUS 2 FINISH COATS AS RECOMMENDED BY PAINT MANUFACTURER.

EXTERIOR WALLS TO INCLUDE 4 BASIC COLOURS, WITH ONE ADDITIONAL ACCENT COLOUR AS SHOWN ON EXTERIOR ELEVATIONS. NO TEXTURE.

NOTE: G.C. TO PROVIDE ALTERNATE PRICE FOR PIGMENTED CONCRETE (STAINING) FOR EXTERIOR PRECAST WALL PANELS INSTEAD OF PAINTING.

NOTE: WAREHOUSE INTERIOR HALL PAINTING TO RECEIVE ONE COAT OF FLAT LATEX PAINT - WHITE.

MATERIALS LEGEND AND GENERAL NOTES

- A. REF ENLARGED ELEVATIONS FOR ADDITIONAL INFORMATION.
- ALUMINUM / PREFINISHED METAL
- SOLID - GRAY - ACCENT PAINT
- SOLID - GRAY (LIGHT) - ACCENT PAINT
- SOLID - DARK GRAY - ACCENT PAINT
- GLAZING - VISION
- GLAZING - SPANDREL
- GLAZING - TEMPERED SPANDREL
- GLAZING - CLEARSTOREY
- GLAZING - TREATED WITH VISUAL MARKERS

BUILDING KEY PLAN:

REV #	DATE	REVISION TITLE
2	NOV. 22, 2024	ISSUED FOR SPA SUBMISSION 1B

PROJECT NO: 22095.00
DRAWN BY: TL
CHECKED BY: RBC

PROJECT TITLE:

HUMBER STATION DC1
TOR02790
HUMBER STATION ROAD
CALEDON, ONTARIO

PROLOGIS
Prologis Inc. (Canada)
185 The West Mall, Suite 700, Toronto
647-258-2600



SHEET TITLE:
OVERALL BUILDING ELEVATIONS



SHEET NO.
A202