

Context Plan



Detail Context Plan

DRAWING LIST

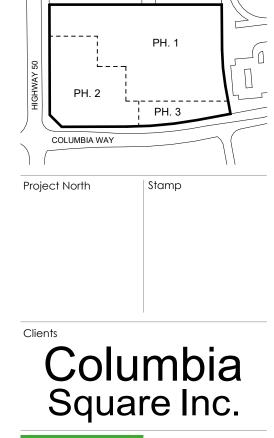
SHEET NUMBER	SHEET NAME
	SURVEY
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A203	ELEVATIONS PHASE 1
A204	ELEVATIONS PHASE 1
A205	ELEVATIONS PHASE 2
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A801	WASTE MANAGEMENT PLAN PHASE 1, 2, 3



BOLTON, ONTARIO

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No.	Description	Date
1	ISSUED FOR OPA	2023/12/1
16	ISSUED FOR OPA/ZBA	2024/03/2

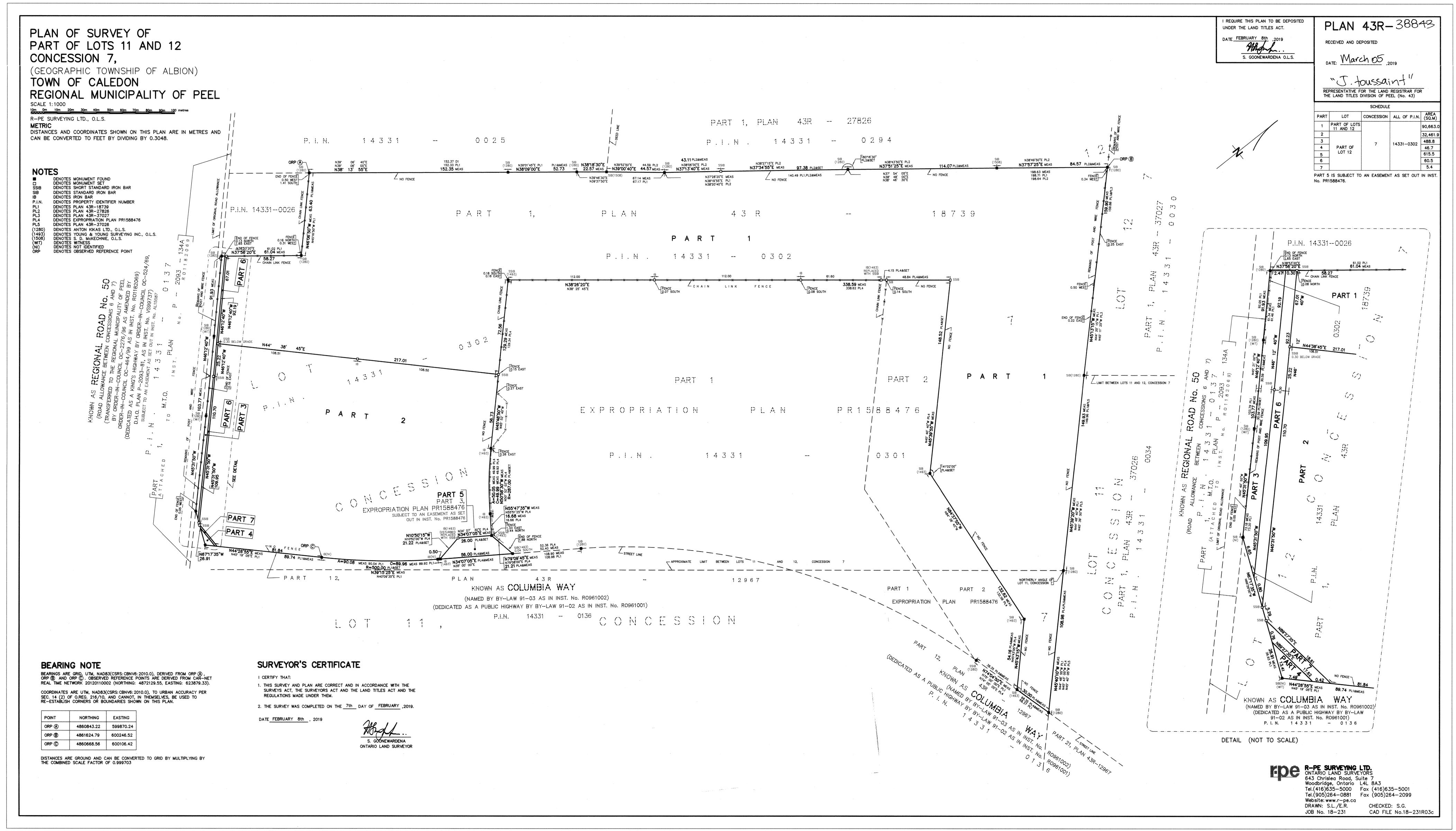


CONTEXT PLAN + DRAWING LIST

A001

Issue Date:

Drawn By:



Columbia Square Development Statistics Rev. March 25, 2024

Phase 1

1.0 Site Area GFA Phase 1	Sq. M	Hectares	Units / Ha.	Acres	Units / Acre
Site Area	17633	1.76	129.3	4.4	52.3
GFA	Sq. M 20364	F.S.I. 1.15			

2.0 Unit Count - Building Height	
Units	228
Building Height (includes mechanical penthouses)	14.0 m

3.0 Vehicular Parking	Resident	Visitor	Total	Barrier-free
Required Parking per Unit	1.5	0.25		
Total Required Parking	342	57	399	
Caledon Barrier-free requirement	9	2		11
Provided				
Surface (excludes spaces on Kingsview Drive)	0	31	31	2
P1 Level (496 built 196 assigned to phase 3)	300	0	496	16
P2 Level				
Total	300	31	331	18
Parking per Unit	1.32	0.09	1.41	

4.0 Loading Loading Space One L 18.0 m x W6.0 m x H 6.1 m

Phase 2

i ilase z					
1.0 Site Area GFA Phase 2	Sq. M	Hectares	Units / Ha.	Acres	Units / Acre
Site Area	9315	0.93	421.9	2.3	170.7
GFA	Sq. M 36459	F.S.I. 3.91			

Inits	393		
commercial Area Sq. m.	1726.0		
Building Height (includes mechanical penthouses)	36.0 m		

3.0 Vehicular Parking	Resident	Visitor	Total	Barrier-free	
			Total	Darrier-free	
Required Residential Parking per Unit	1.50	0.25			
Total Required Residential Parking	590	98	688	18	
Required Retail Parking 1/20 sq. m.		86	86	3	
Total Required Residential and Retail Parking	590	185	774		
Caledon Barrier-free requirement	14	4		21	
Provided					
Surface Residential	0	30	30	5	
Surface Retail		68	68	3	
P1 Level	237		237	8	
P2 Level	237		237	8	
Total	474	98	572	24	
Parking per Unit	1.21	0.08	1.28		
Sq. m. of retail per parking spot		25.4			

4.0 Loading Loading Space One L 18.0 m x W 6.0 m x H 6.1 m

Phase 3

1.0 Site Area GFA Phase 3	Sq. M	Hectares	Units / Ha.	Acres	Units / Acre
Site Area	2259	0.23	624.2	0.6	252.6
GFA	Sq. M 9500	F.S.I. 4.21			

2.0 Unit Count - Building Height	
Units	141
Building Height (includes mechanical penthouses)	33.0 m

3.0 Vehicular Parking				
	Resident	Visitor	Total	Barrier-free
Required Parking per Unit	1.50	0.25		
Total Required Parking	212	35	247	
Caledon Barrier-free requirement	7	1		8
Provided				
Surface		0	0	
P1 Level (196 assigned from phase -1)	176	20	196	8 from Phases 1 and 2
P2 Level				
Total	176	20	196	8
Parking per Unit	1.25	0.14	1.39	

5.0 Loading Loading Space One L 18.0 m x W 6.0 m x H 6.1 m

Phases 1, 2 and 3

1.0 Site Area GFA Phases 1, 2, 3	Sq. M	Hectares	Units / Ha.	Acres	Units / Acre
Total Site Area	33097	3.31	230.2	8.2	93.2
Kingsview Road Allowance + View Angles	3889				
Net Site Area Phase 1, Phase 2, Phase 3	29208	2.9	260.9	7.2	105.6
GFA	66323	F.S	.l. net site area	2.27	
Landscaped Area	8788	30.09%			

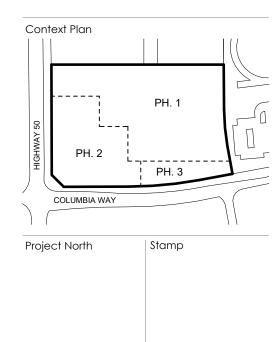
2.0 Unit Count - Commercial Area		
Phase 1 Units	228	
Phase 2 Units	393	
Phase 3 Units	141	
Total Units Phases 1,2,3	762	
Commercial Area Phase 2	1726.0	

3.0 Vehicular Parking					
	Resident	Visitor	Commercial	Total	Barrier-free
Required Residential Parking per Unit	1.50	0.25	1 /20 sq.m.		
Total Required Residential Parking	1143	191	-	1334	37
Required Retail Parking 1/20 sq. m.			86	86	3
Total Required Parking				1420	40
Provided					
Surface	0	61	68	129	10
P1 Level	713	20		733	24
P2 Level	237	0		237	8
Total	950	81	68	1099	42
Parking per Unit	1.25	0.13		1.38	
Parking per sq. m. of retail			25.4		

COLUMBIA

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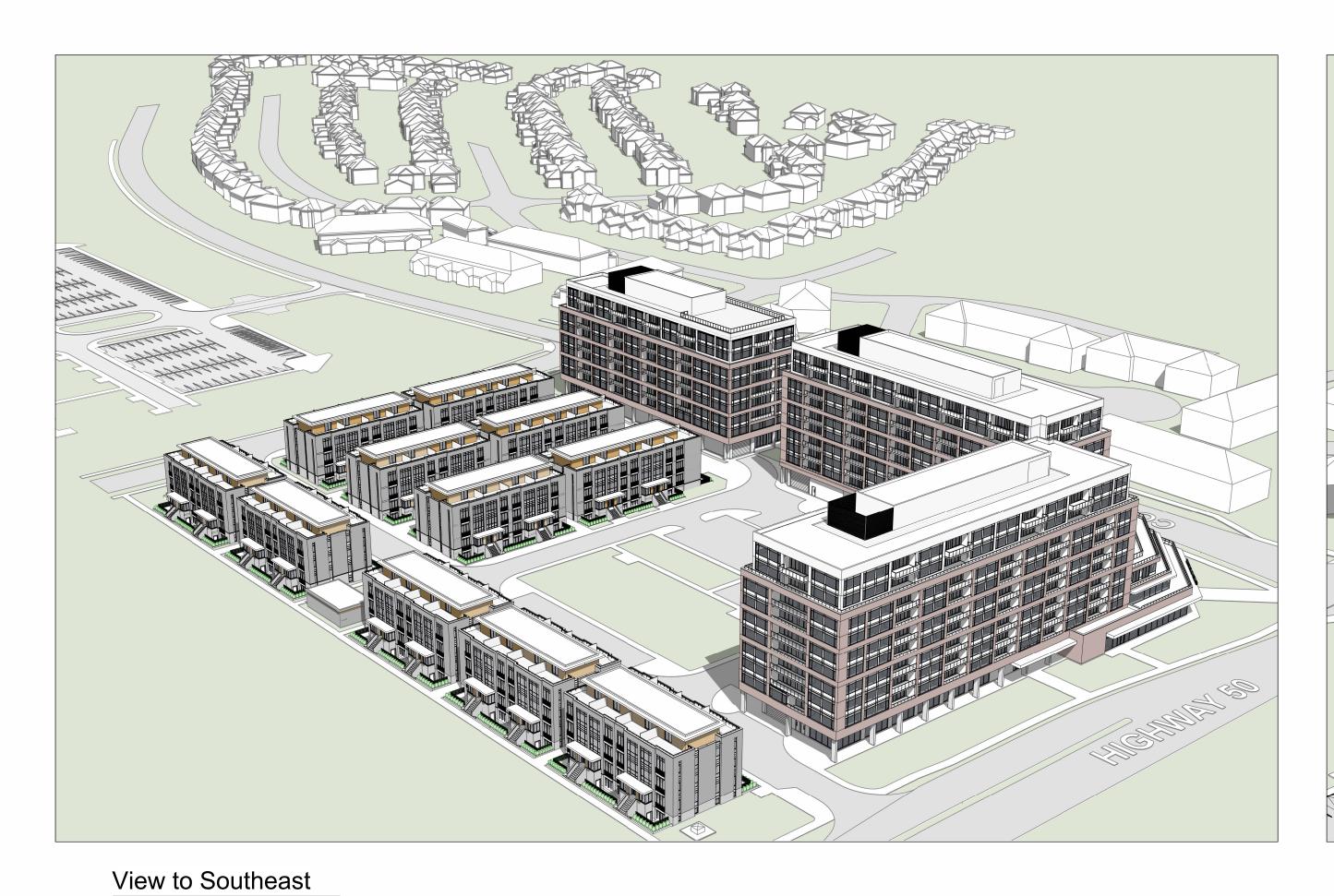
report	reported to the Architect before proceeding with the work.		
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Columbia Square Inc.

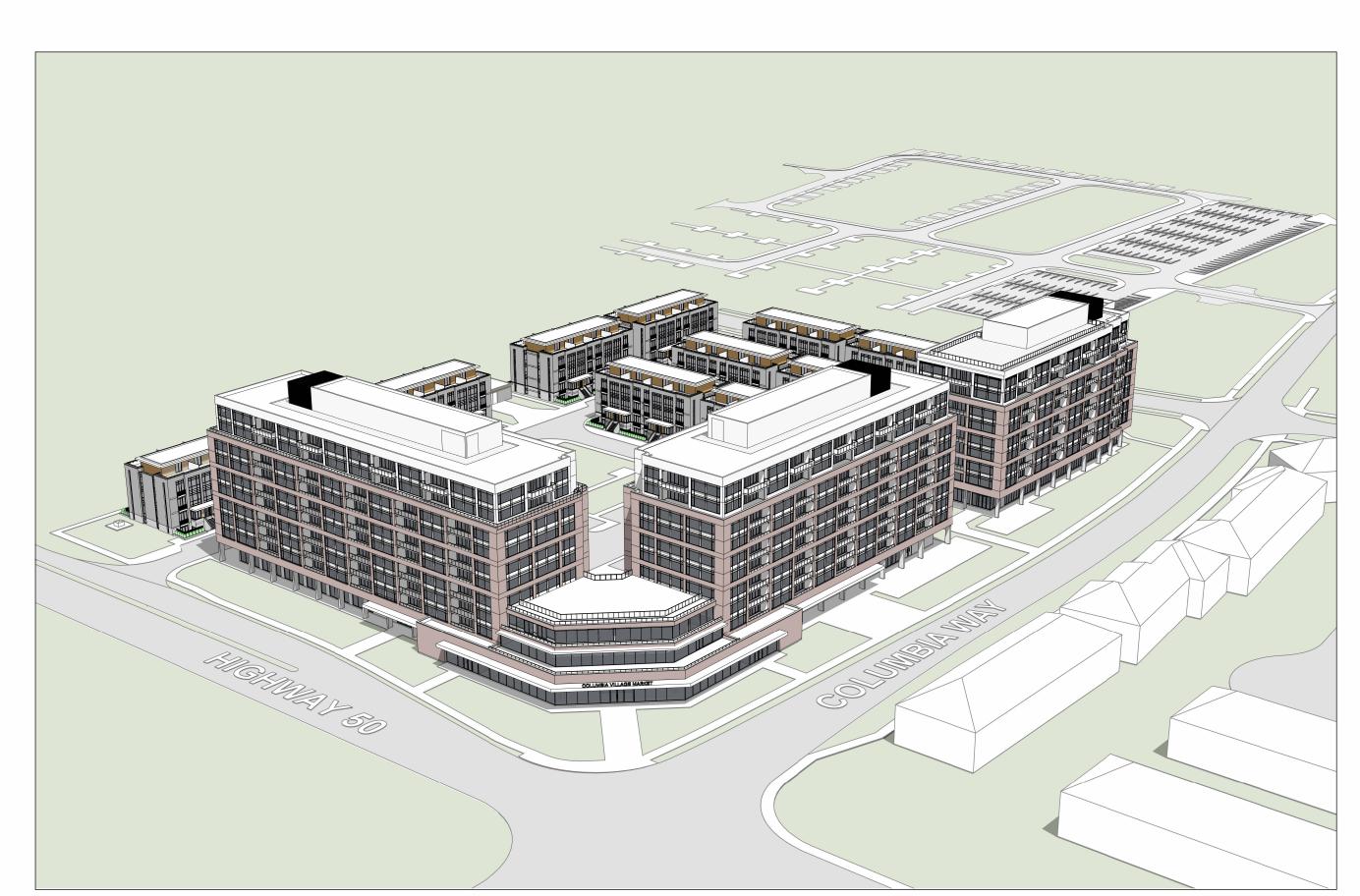


DEVELOPMENT STATISTICS

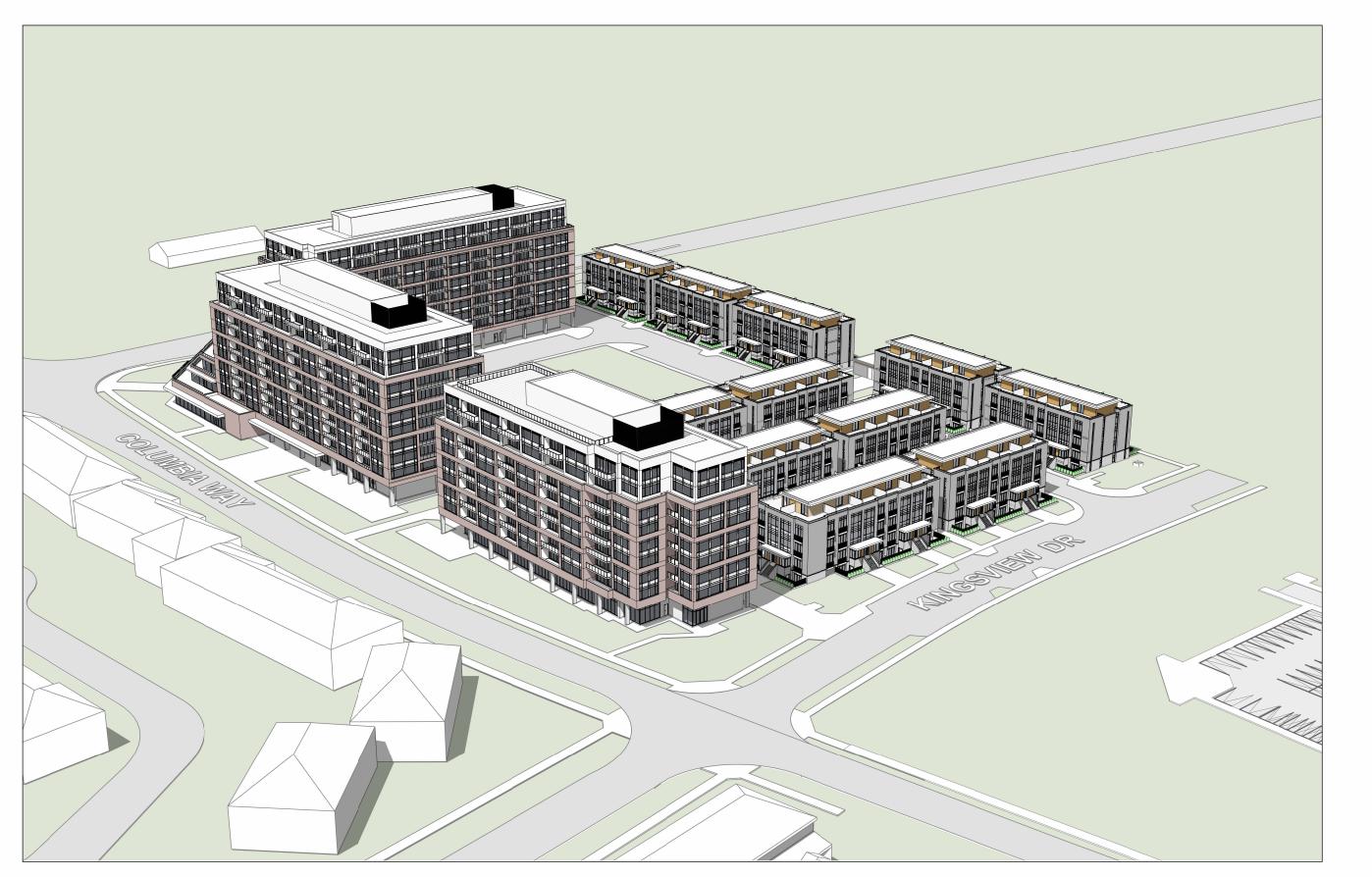




View to Southwest



View to Northeast



View to Northwest



BOLTON, ONTARIO

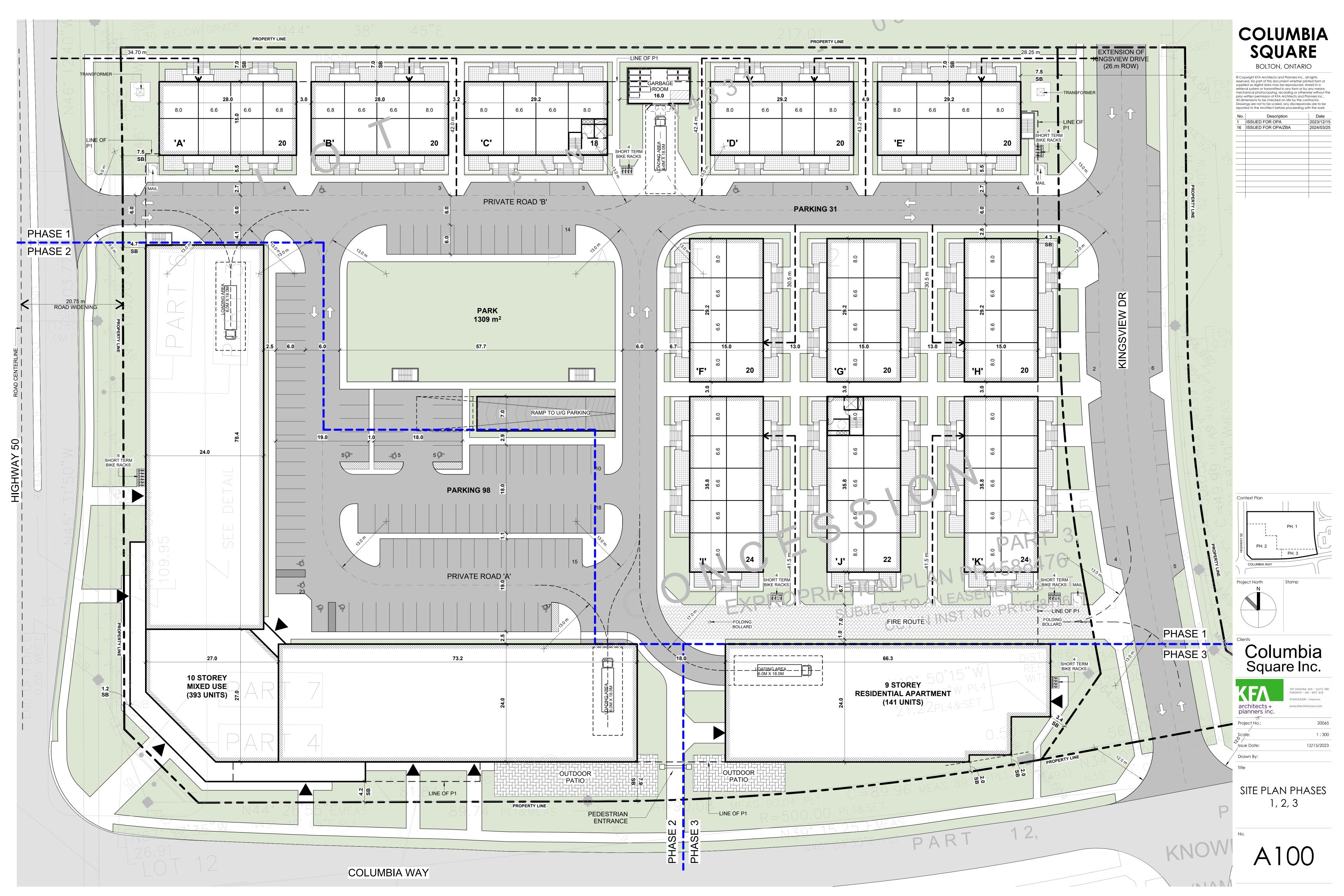
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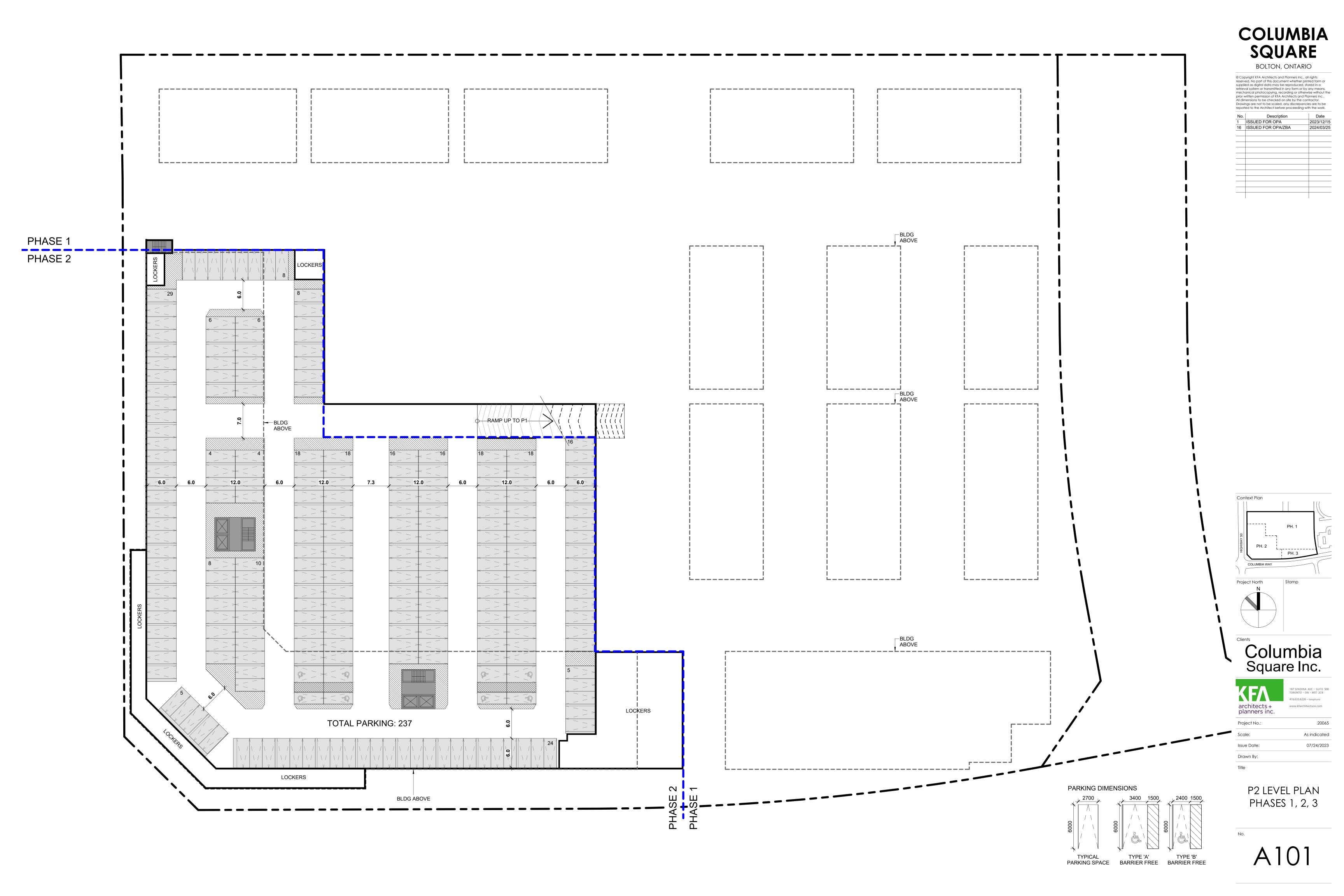
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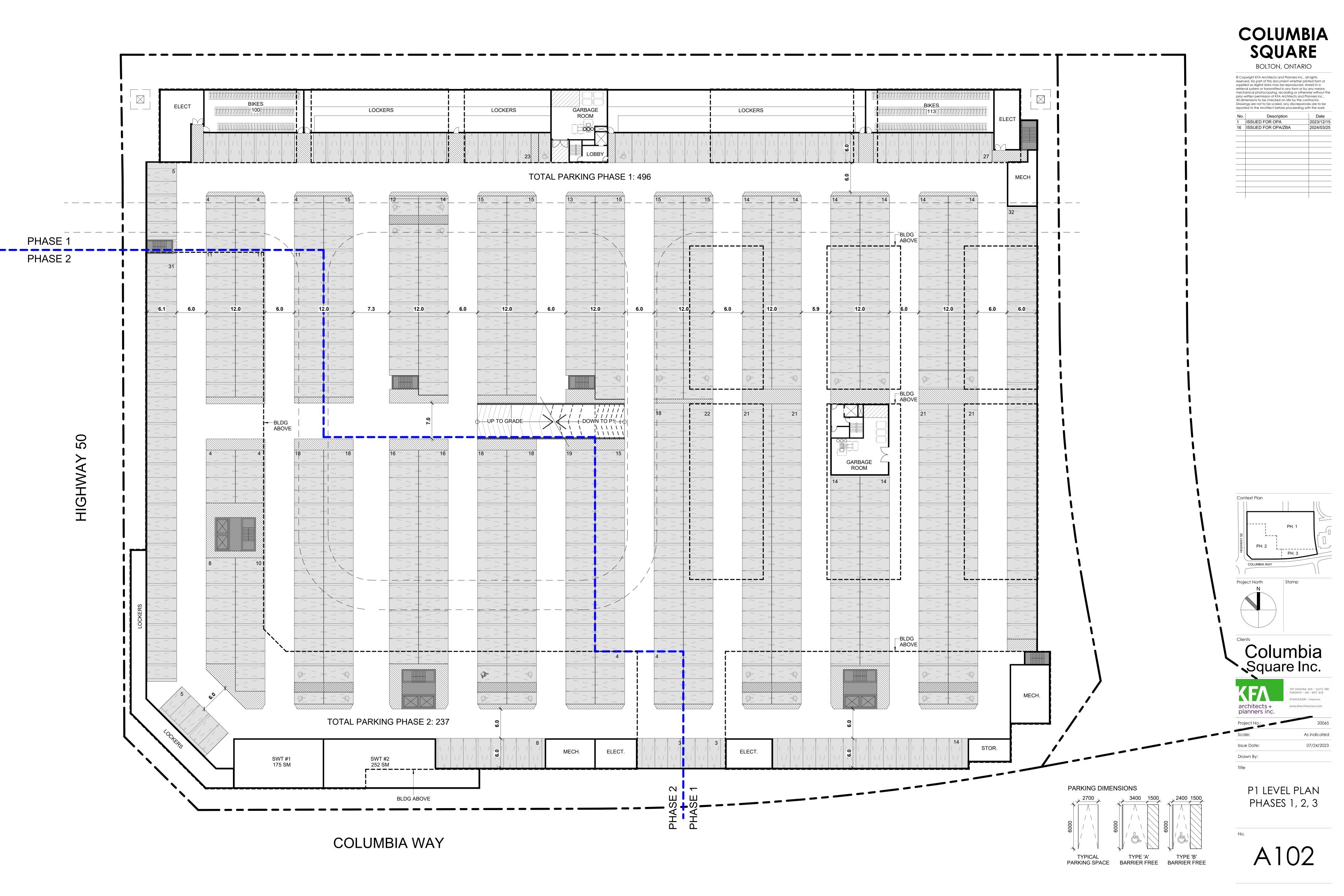


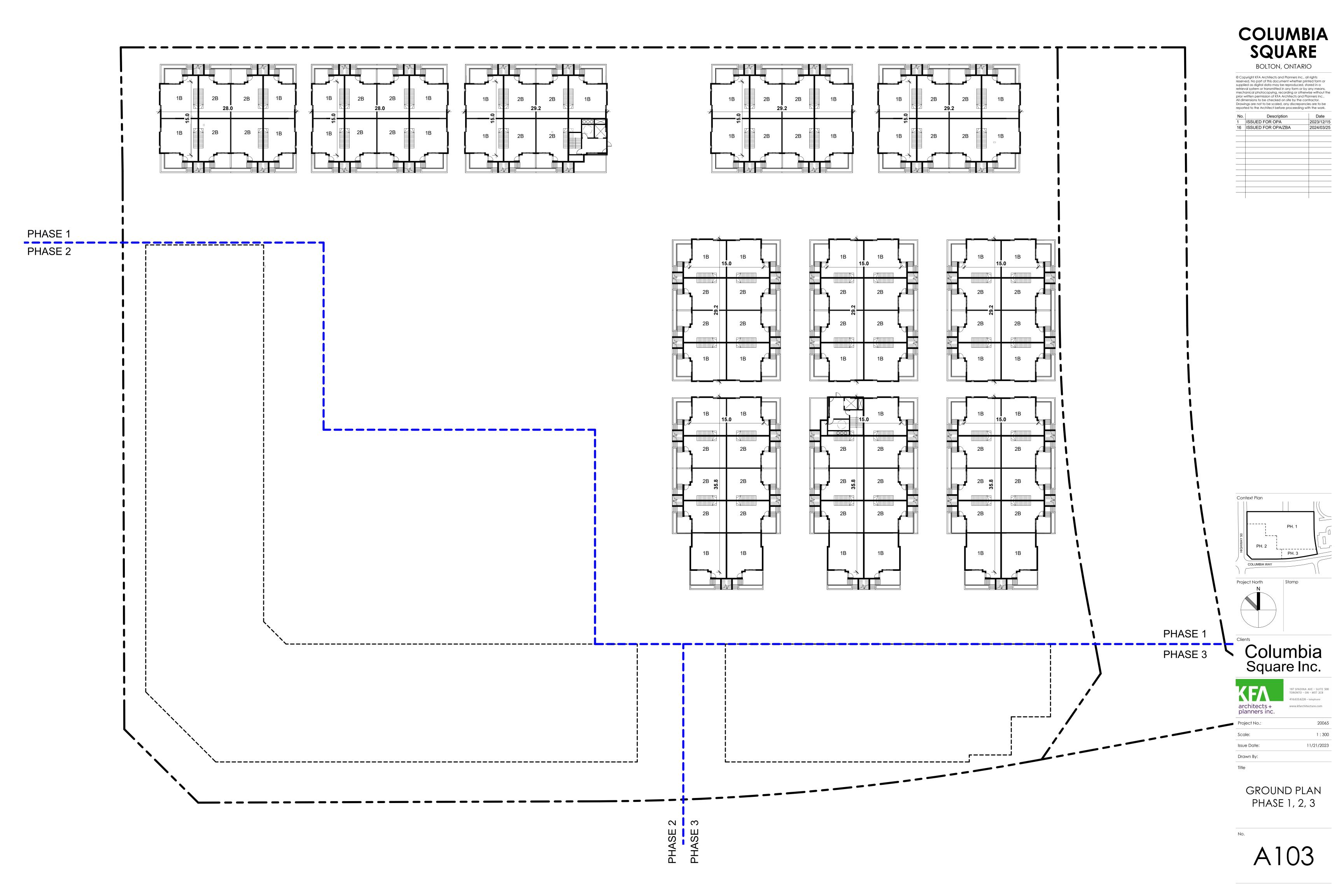
3D AERIAL VIEWS PHASES 1, 2, 3

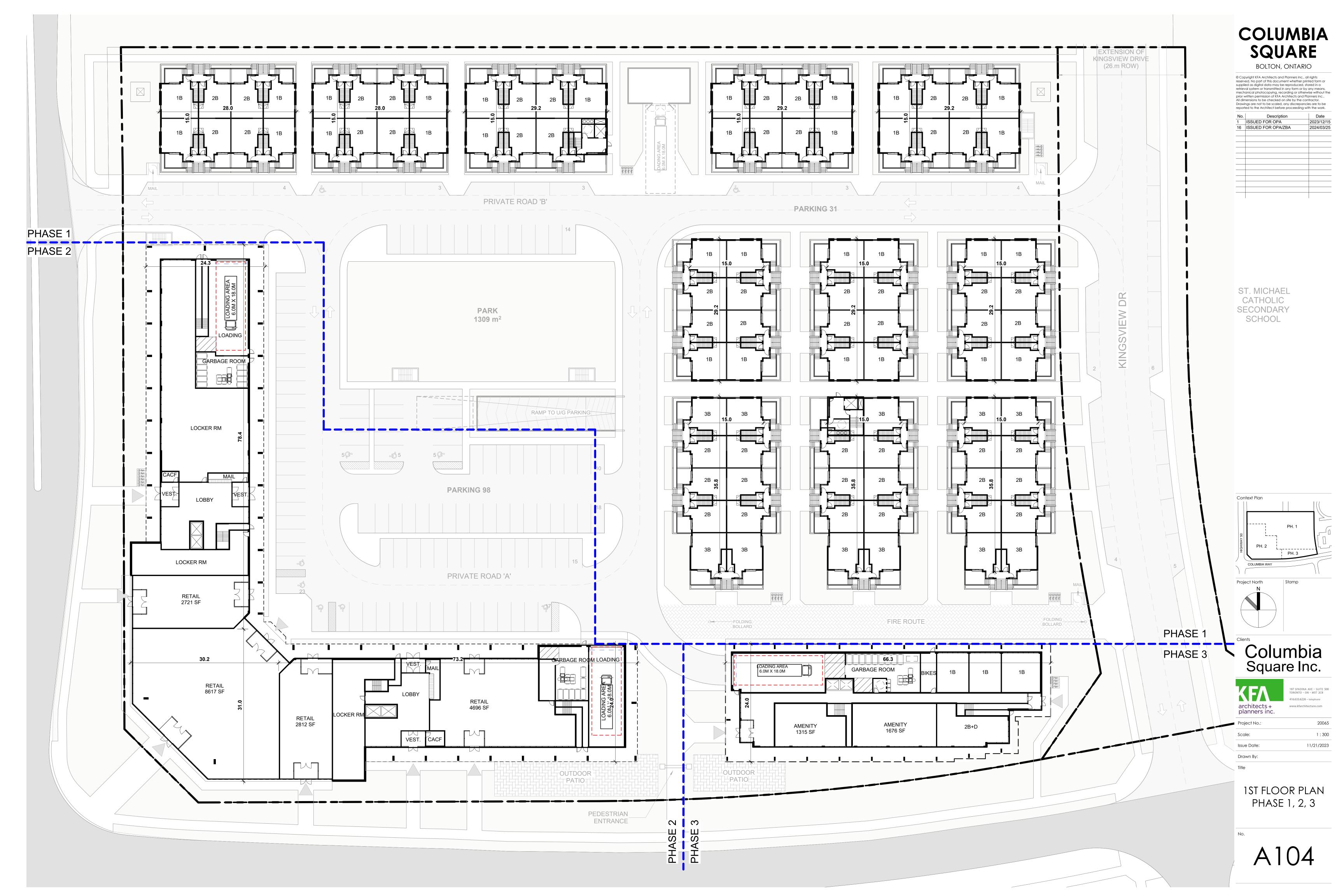
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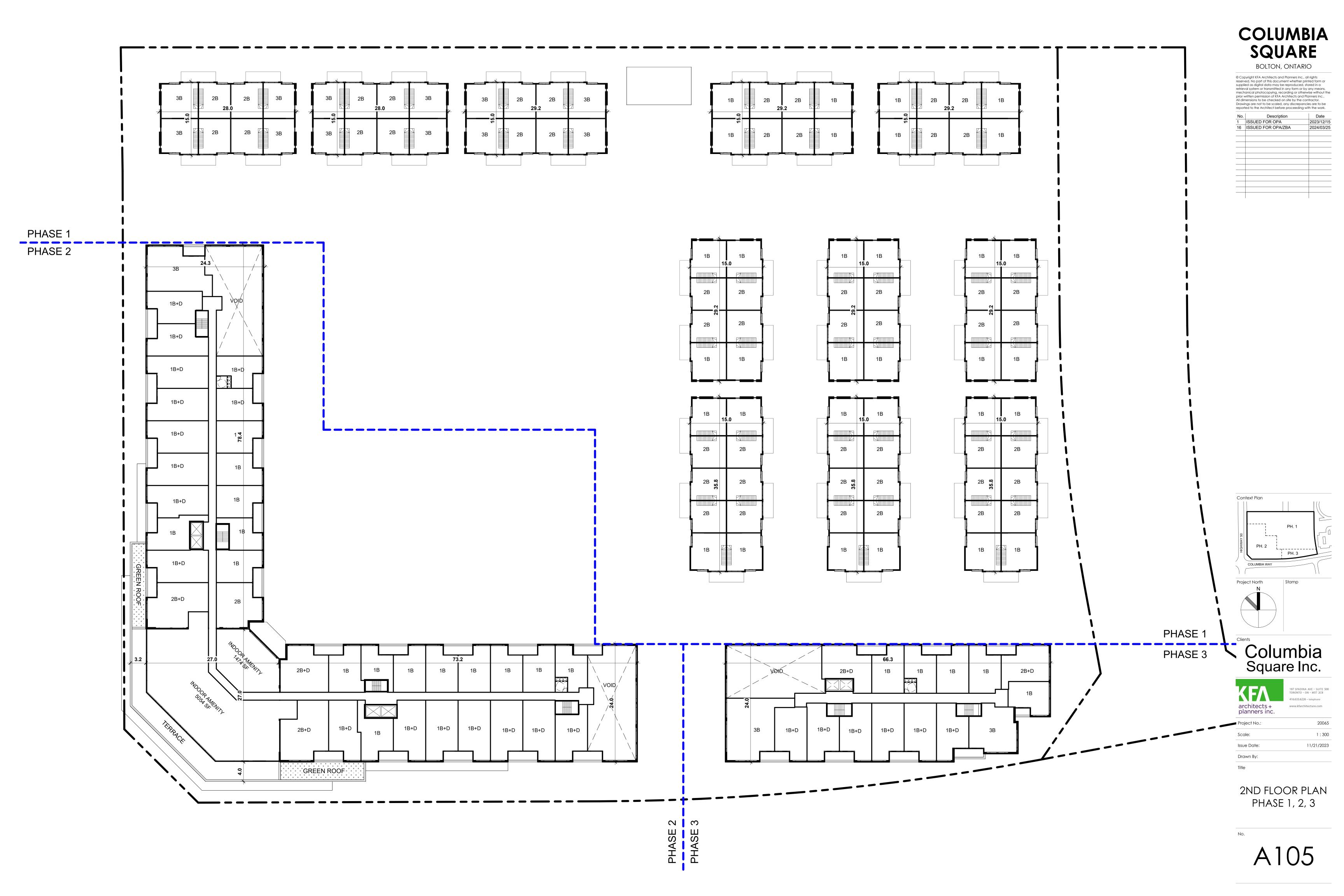


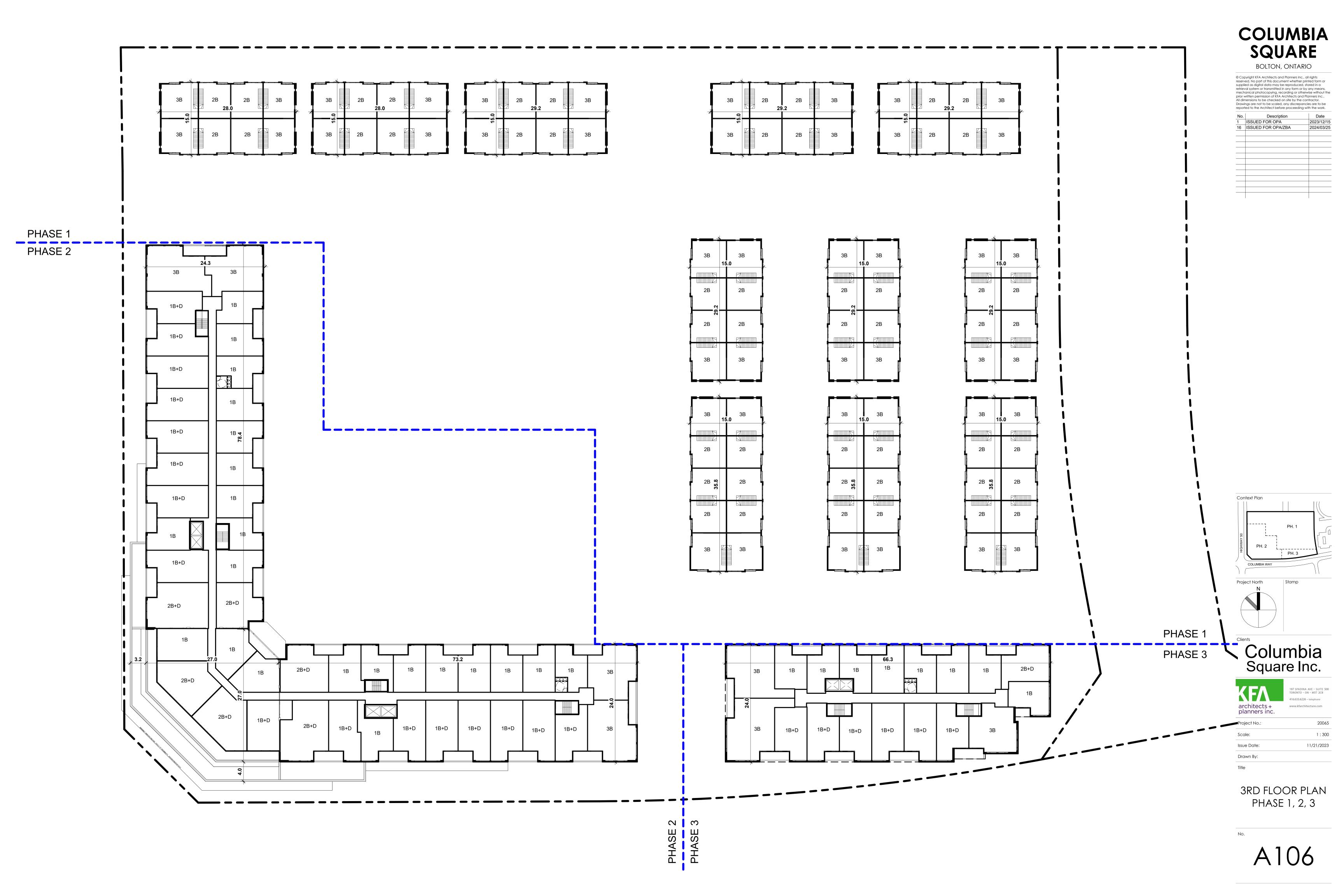


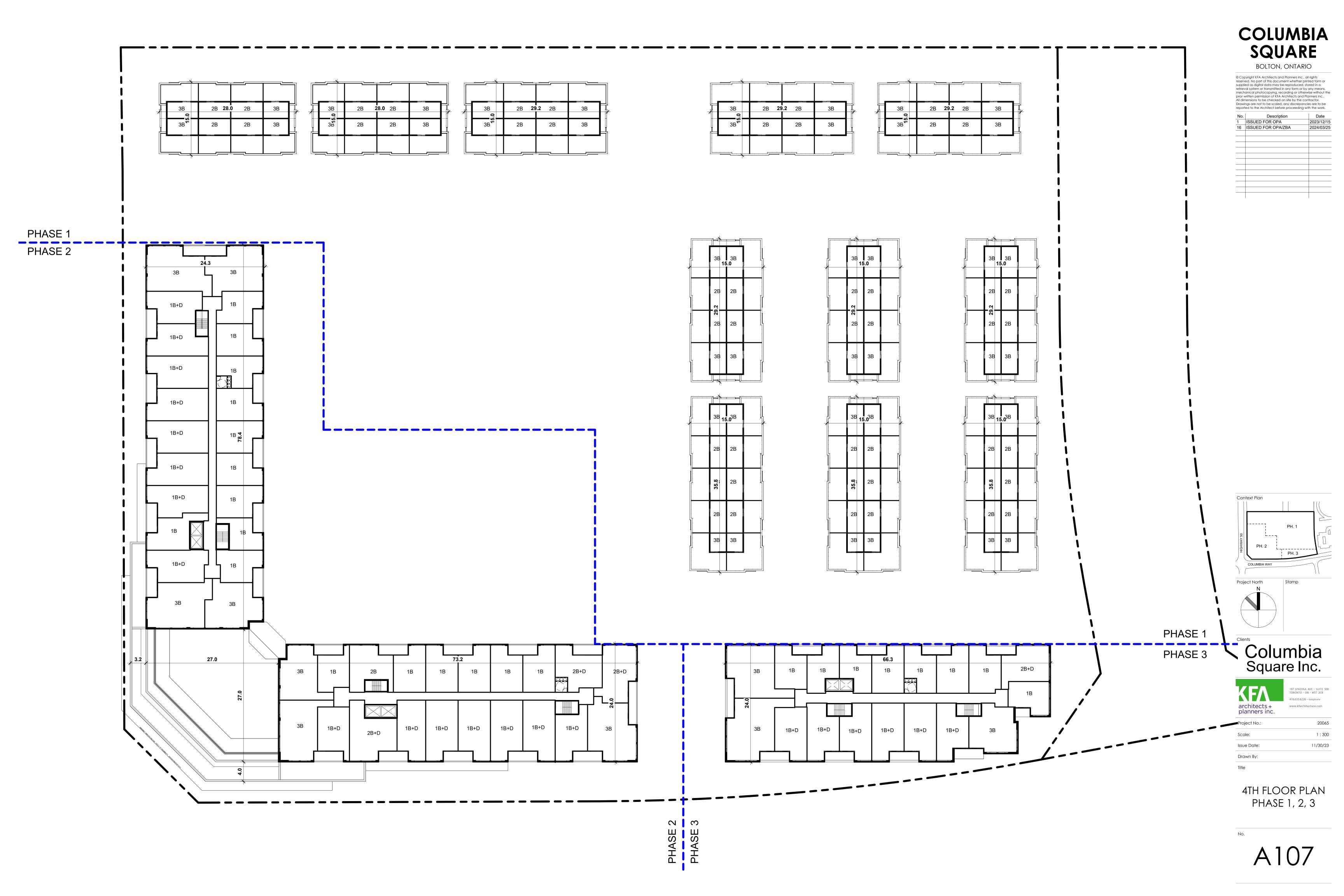


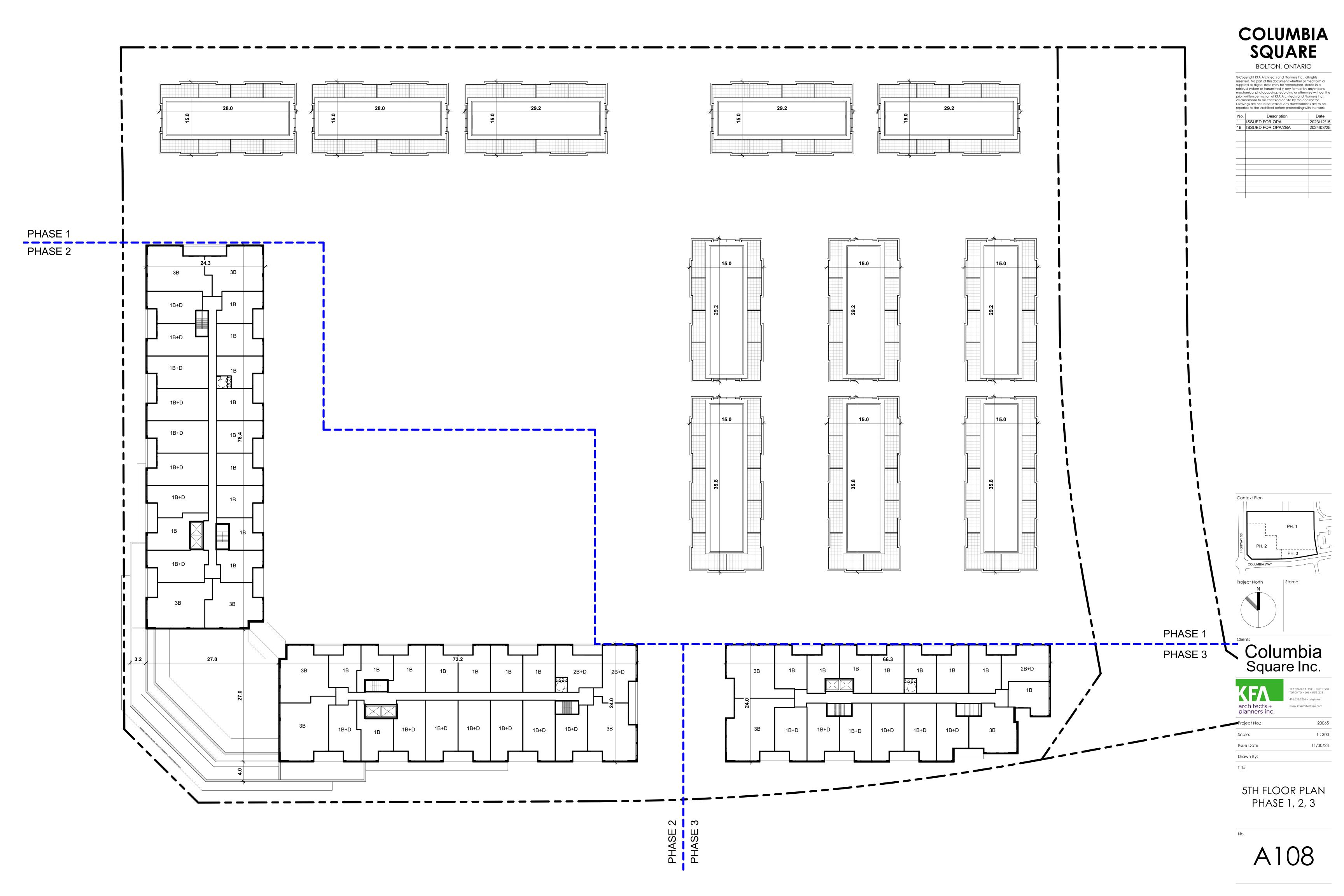


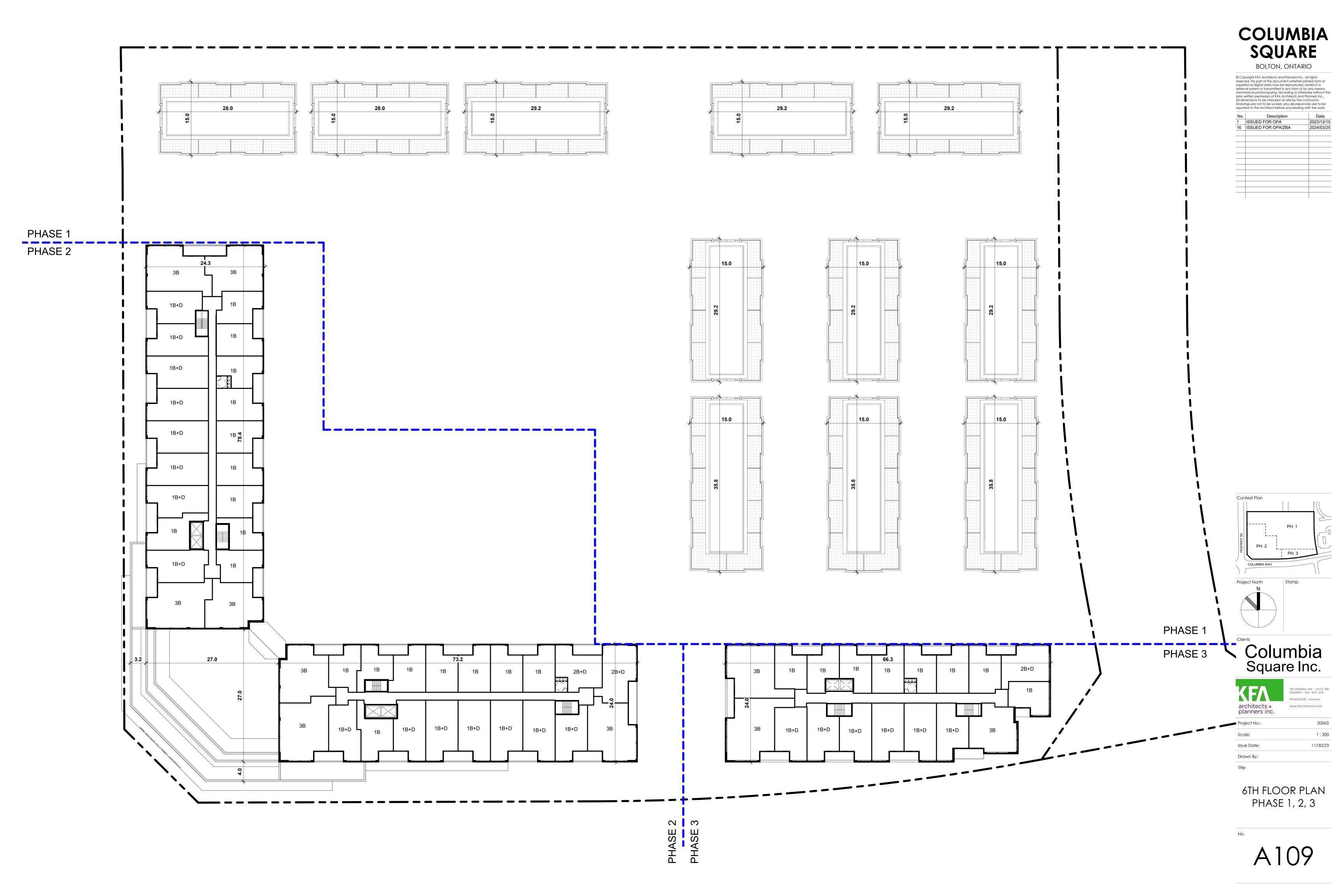


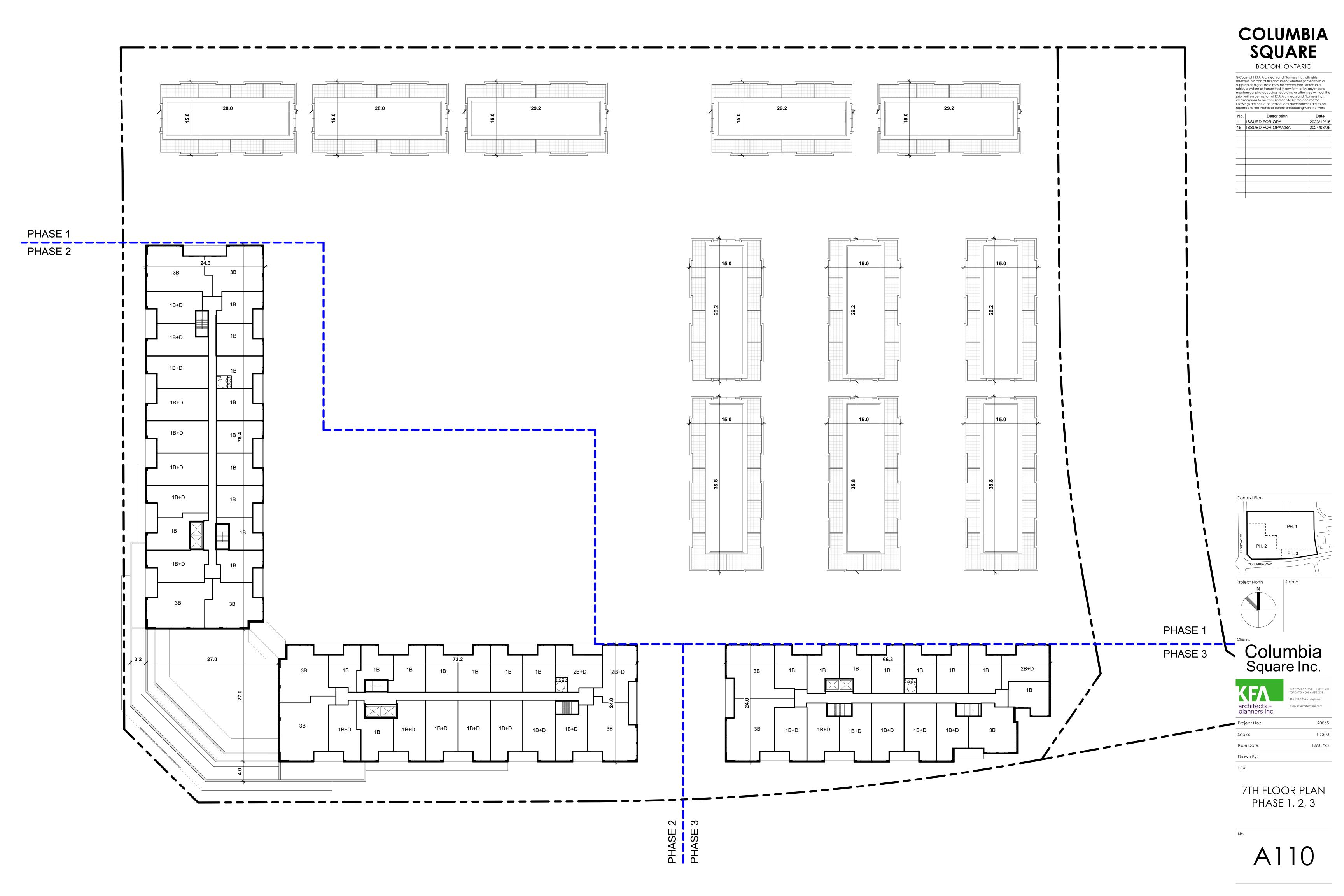


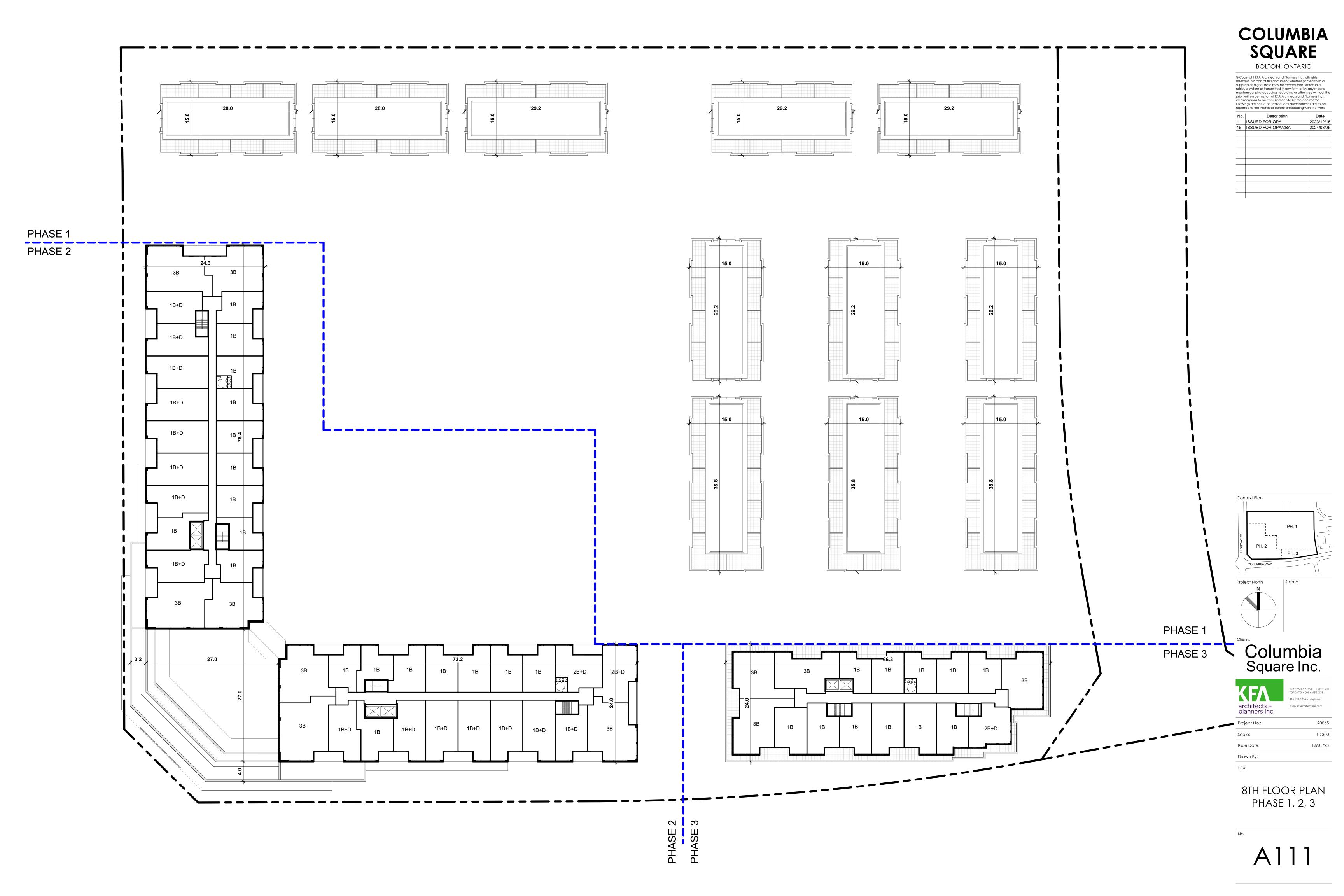


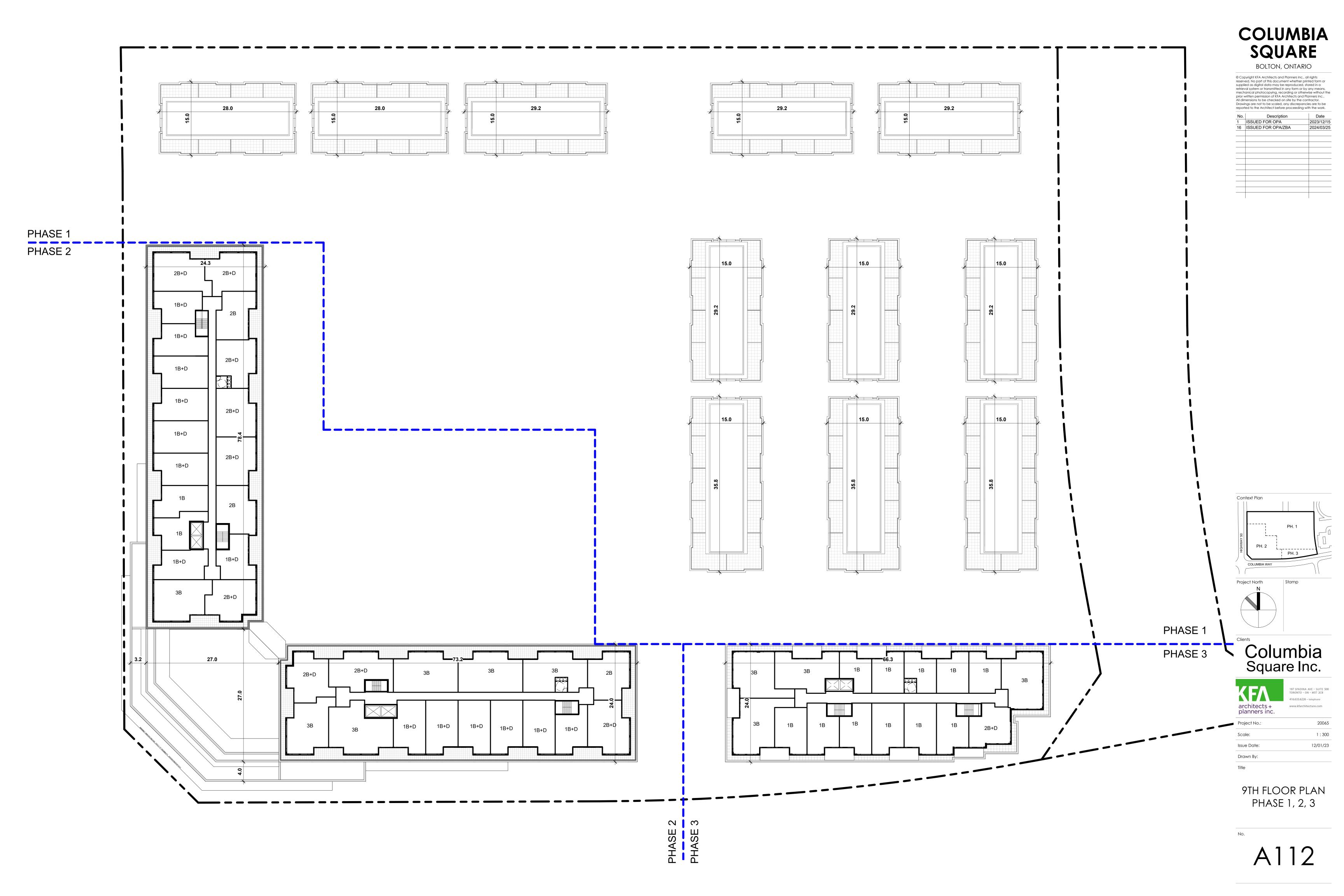


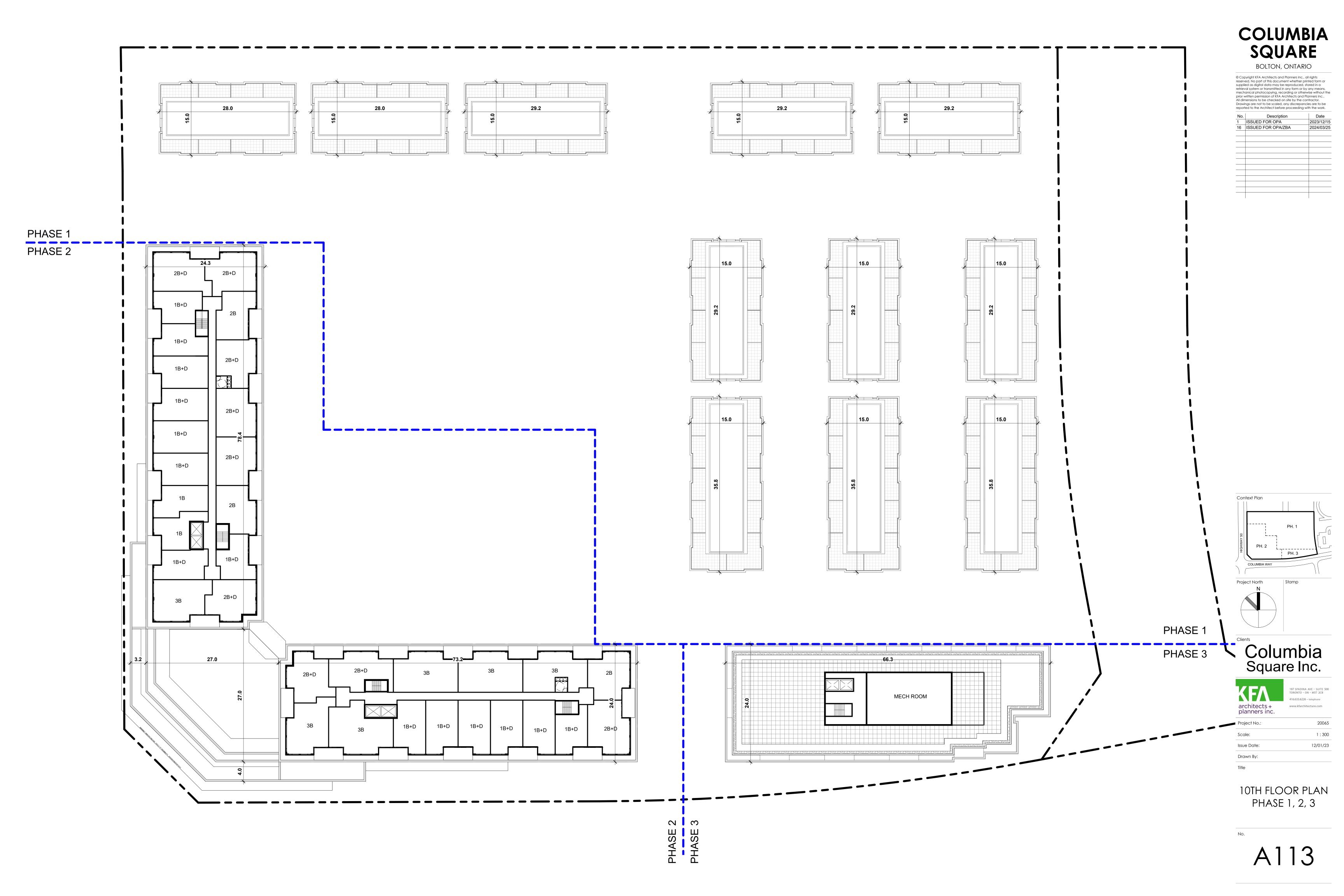


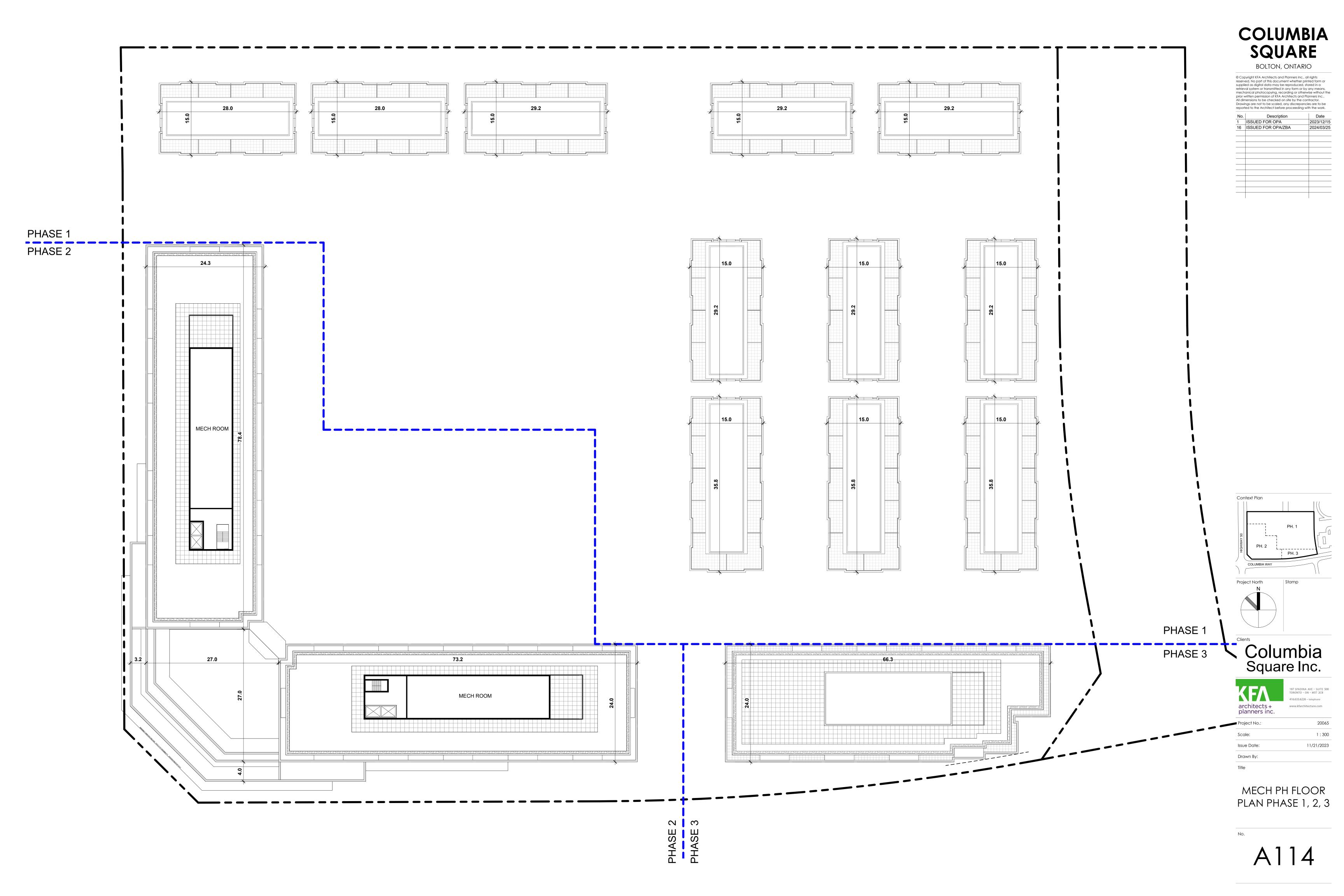


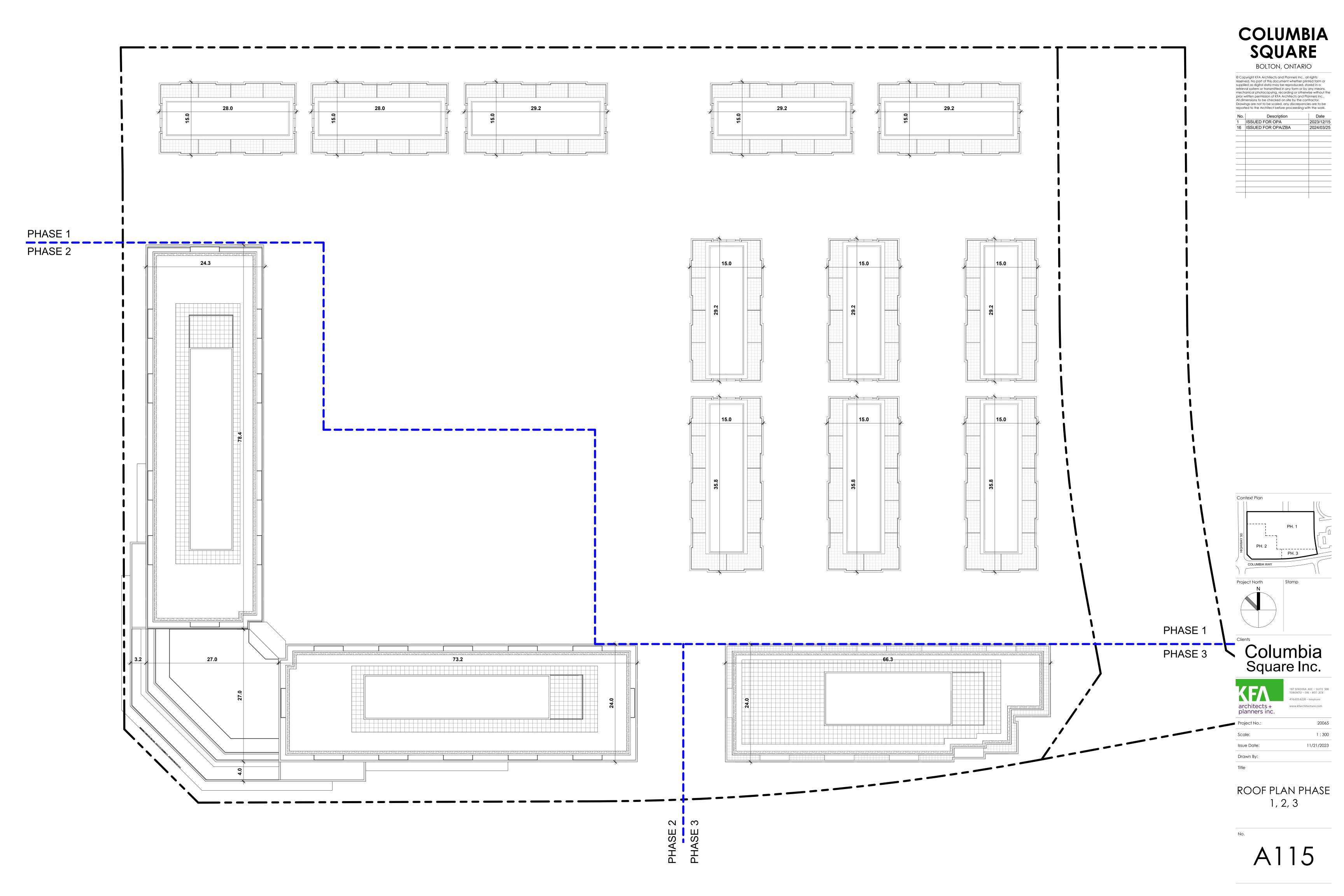
















Site Elevation - North

Site Elevation - East

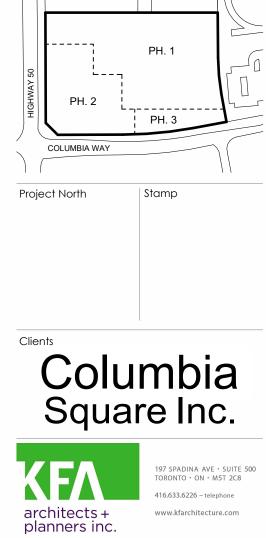
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COLUMBIA SQUARE

BOLTON, ONTARIO

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No.	Description	Date
1	ISSUED FOR OPA	2023/12/15
16	ISSUED FOR OPA/ZBA	2024/03/25
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Context Plan

SITE ELEVATIONS

07/24/2023

Issue Date:

COLUMBIA SQUARE

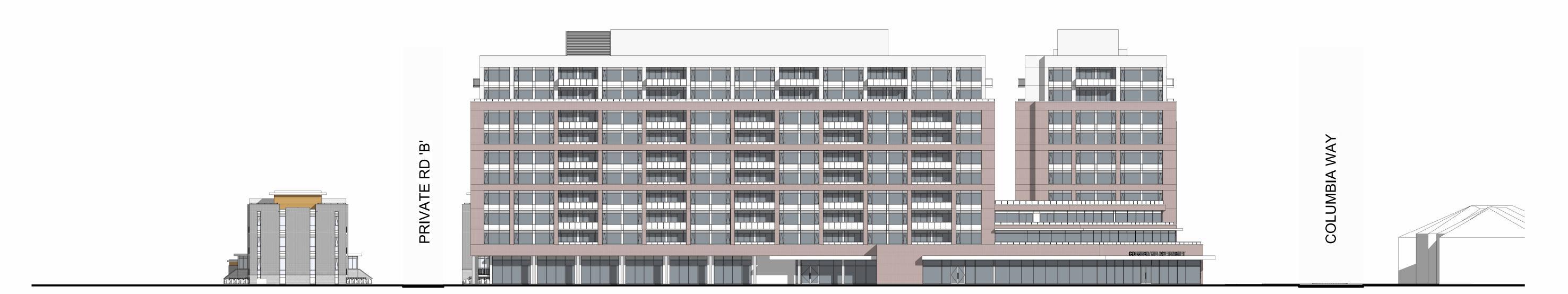
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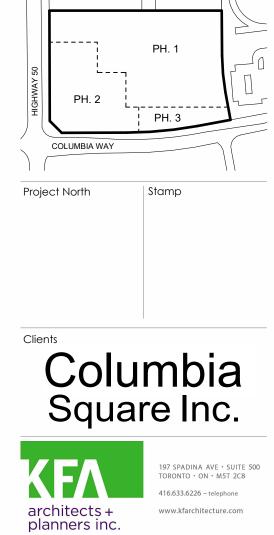
No.	Description	Date
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16	ISSUED FOR OPA/ZBA	2024/03/2

HIGHWAY SO

Site Elevation - South



Site Elevation - West



Context Plan

Project No.:

Scale:

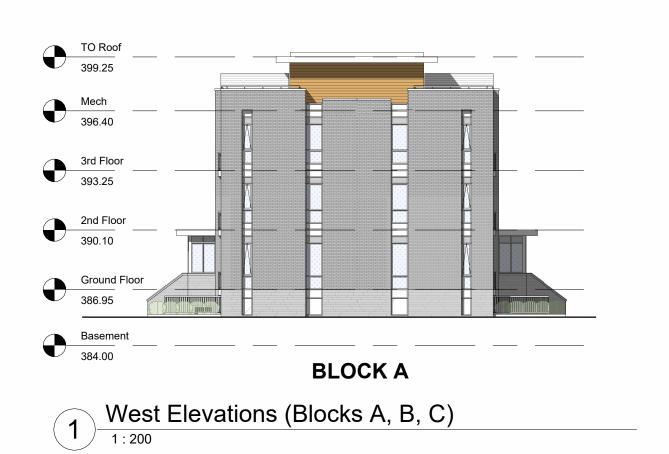
Issue Date:

Drawn By:

SITE ELEVATIONS

1:300

07/24/2023



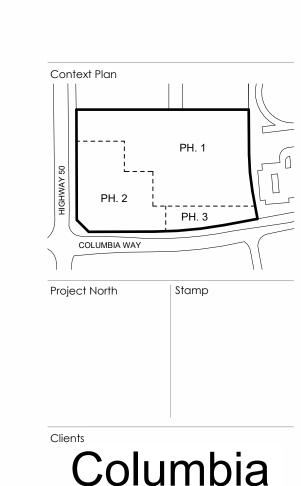


BLOCK B BLOCK A BLOCK C

South Elevations (Blocks A, B, C)







COLUMBIA

SQUARE

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2023/12/15 2024/03/25

No. Description 1 ISSUED FOR OPA

16 ISSUED FOR OPA/ZBA



Project No.:	20065
Scale:	1:200
Issue Date:	07/24/2023
Drawn By:	
Title	

ELEVATIONS PHASE



East Elevations (Blocks H, K, G, J, F, I)

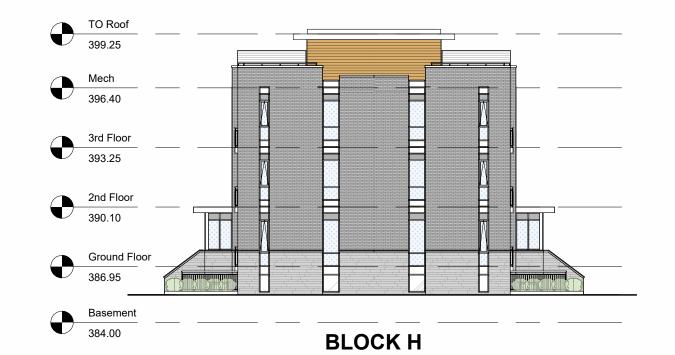


West Elevations (Blocks H, K, G, J, F, I)

1:200



South Elevations (Blocks I, J, K)



North Elevations (Blocks F, G, H, I, K)

1:200



South Elevations (Blocks F, G, H)

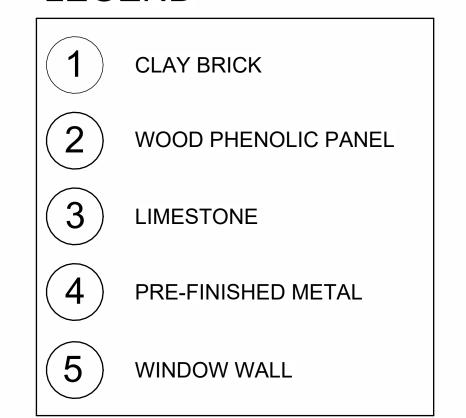


6 North Elevation (Block J)



7 DETAIL ELEVATION STACKED TOWNHOUSES

LEGEND



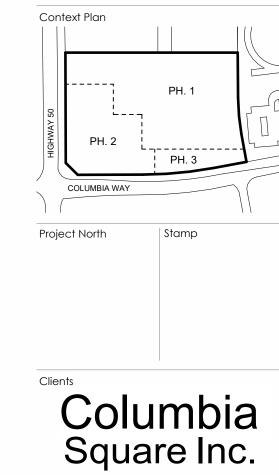


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16	ISSUED FOR OPA/ZBA	2024/03/



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416.633.6226 - telephone
www.kfarchitecture.com

Project No.:
20065

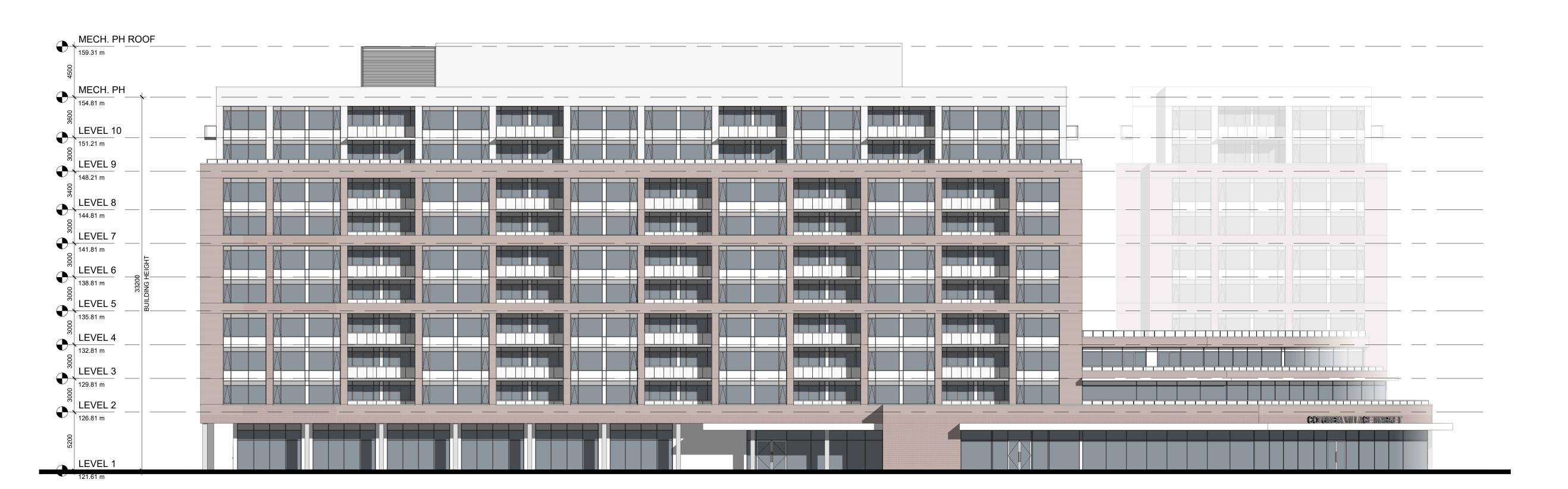
Scale: As indicated

planners inc.	
Project No.:	20065
Scale:	As indicated
ssue Date:	07/24/2023
Drawn By:	

ELEVATIONS PHASE



1 South 1: 200



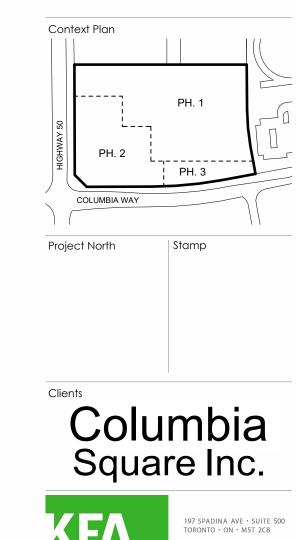
2 West 1:200

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- 1		
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		1



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1:200

07/24/2023

ELEVATIONS PHASE

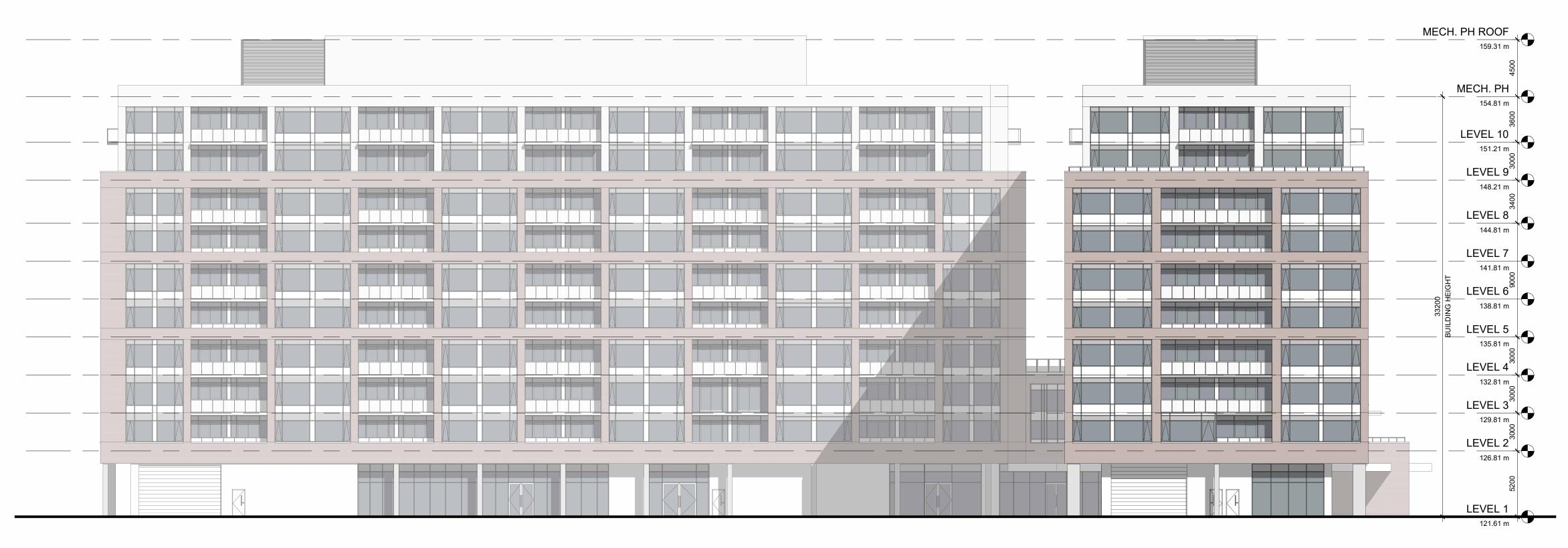
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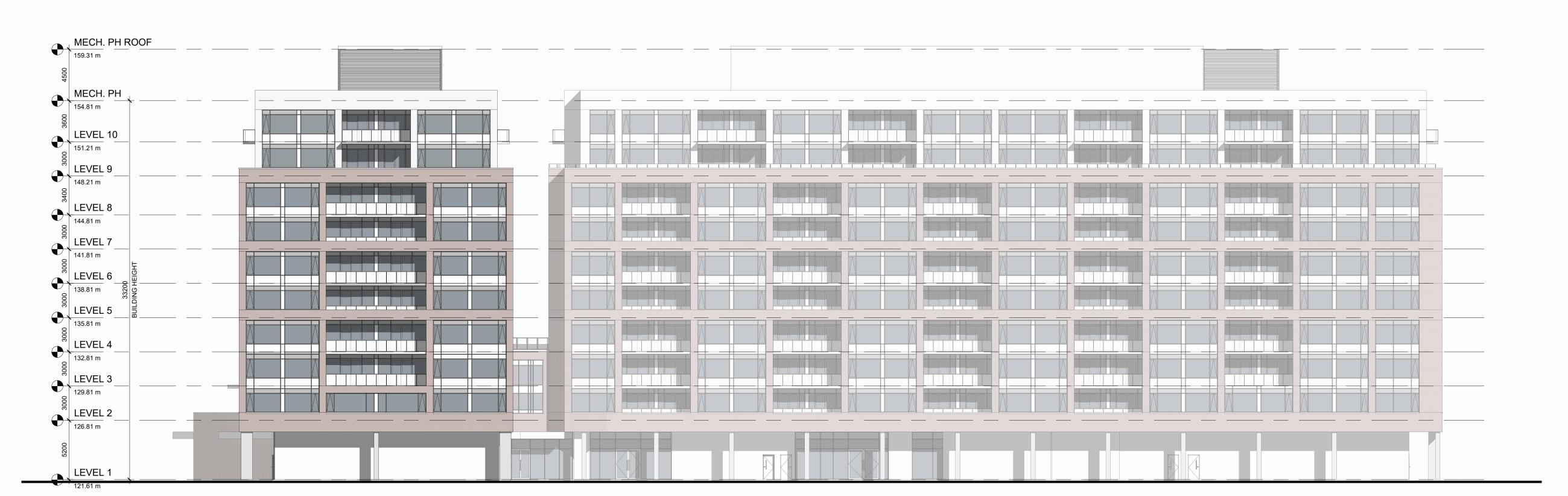
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Drawn By:

Title



1 North
1:200



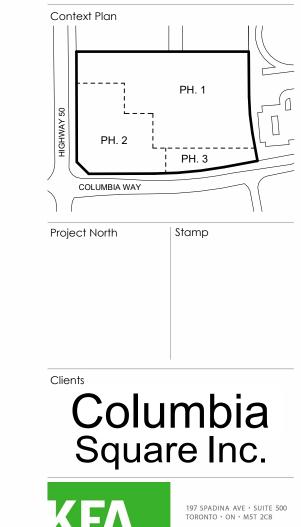
2 East 1:200

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Project No.:

Scale:

Issue Date:

Drawn By:

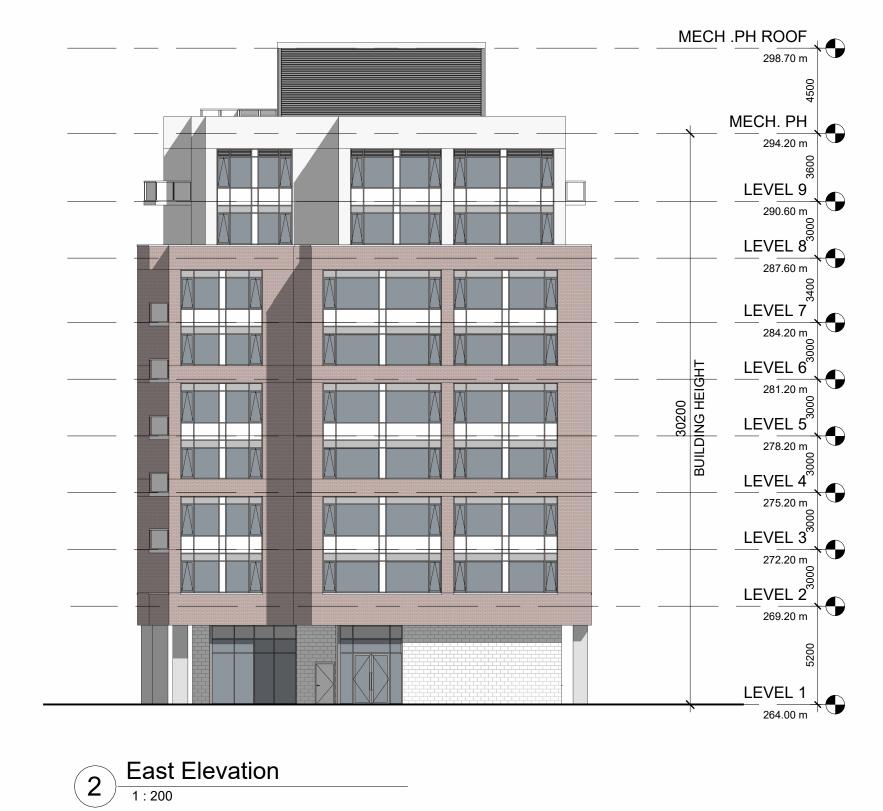
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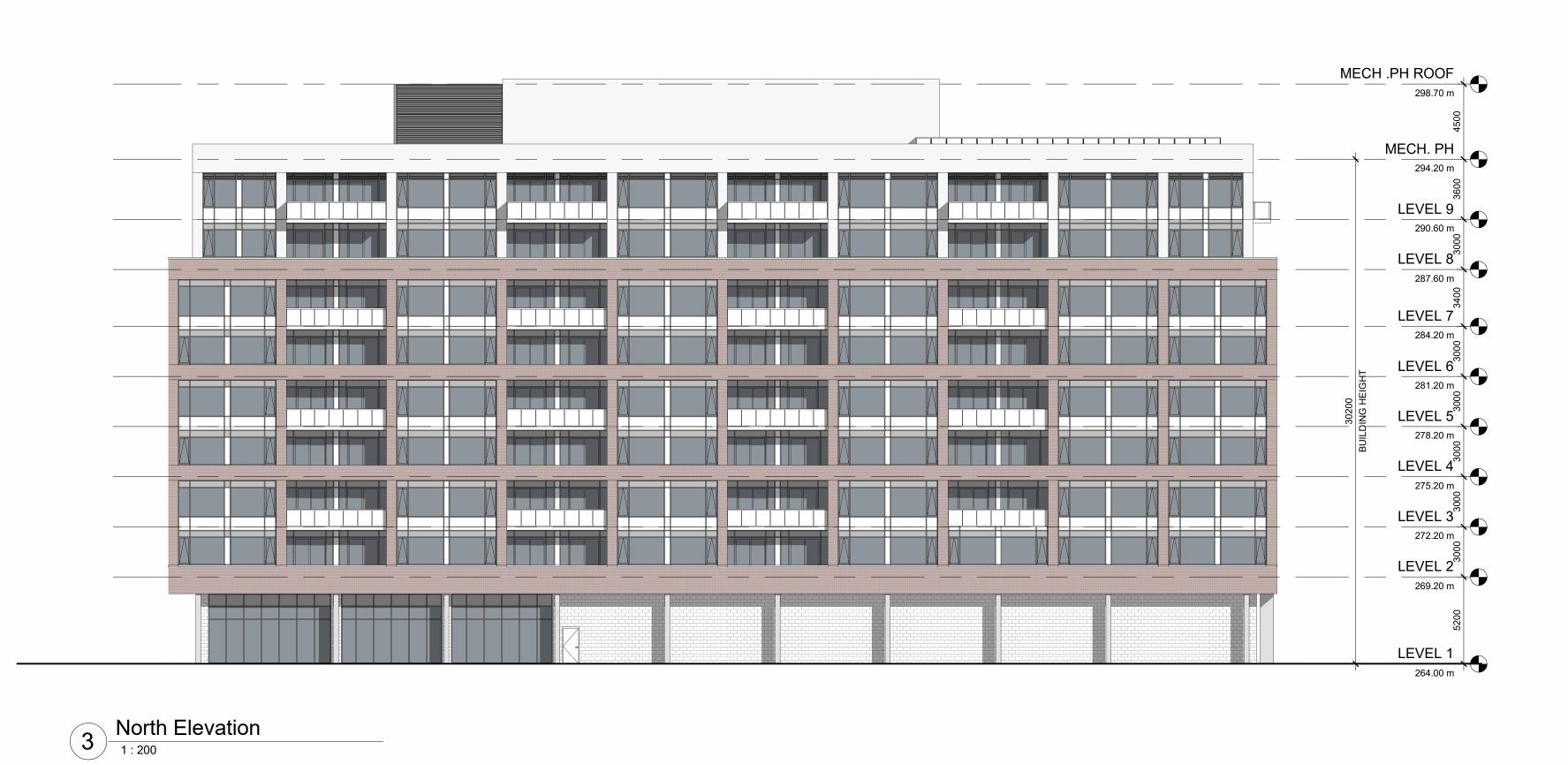
ELEVATIONS PHASE
2

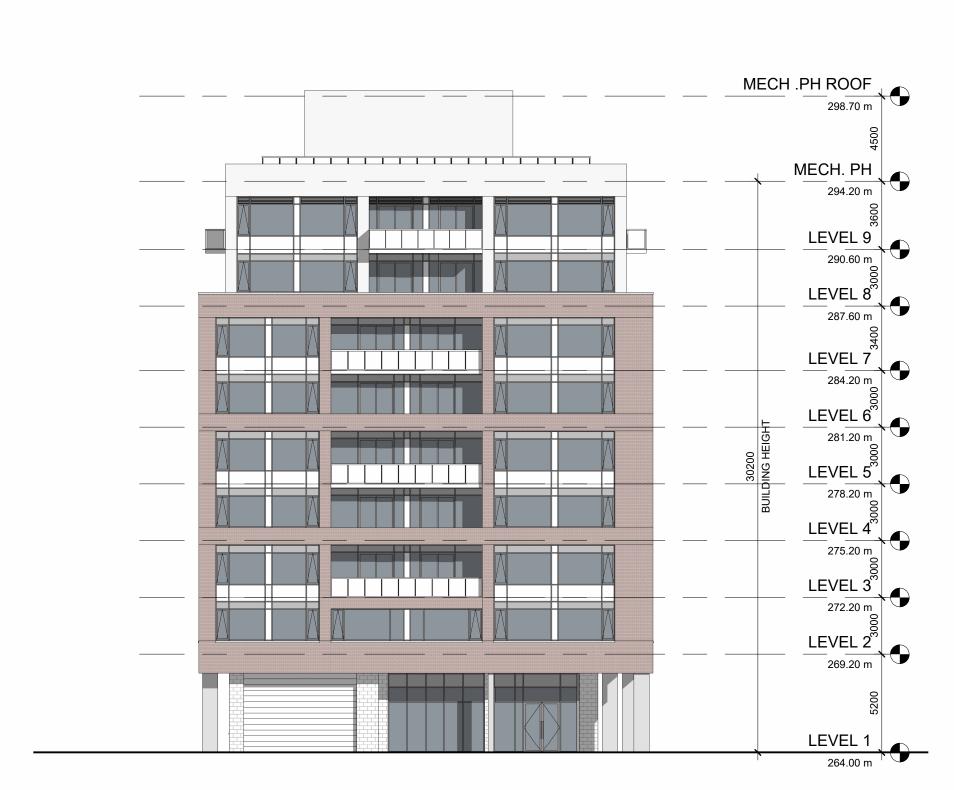
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07/24/2023









West Elevation

1:200



COLUMBIA

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2024/03/25

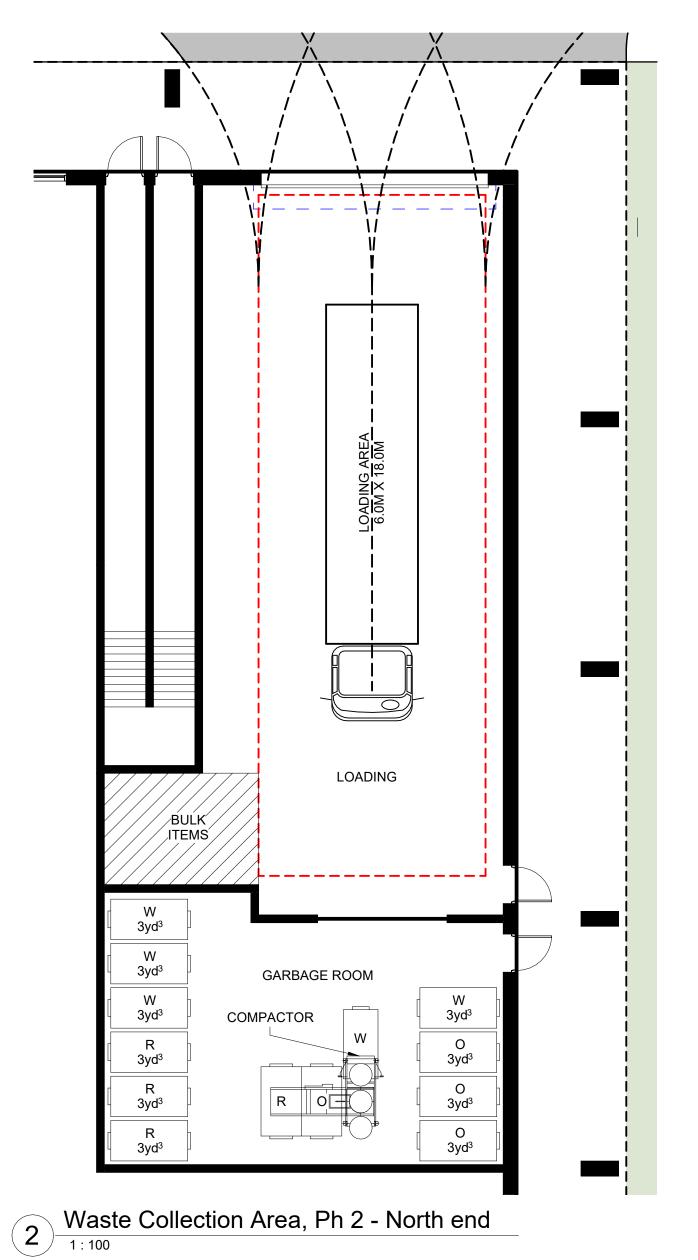
Description

1 ISSUED FOR OPA

16 ISSUED FOR OPA/ZBA

A207

ELEVATIONS PHASE



50mm HL3 asphalt surface, 75mm HL8 asphalt binder, 150mm granular base (20mm

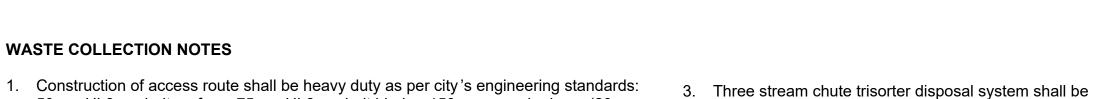
crusher run limestone or equivalent), 300mm granular sub. base, 50mm crusher run

designed to sfely support a fully loaded vehicle (approximately 35,000kgs) and shall

C) Impact factor - 5% maximum vehicular speeds to 15km/h and 30% for higher speeds

2. Structure below the access route, the loading area and the bin staging area shall be

B) Design load - bulk lift vehicle in addition to building code requirements



TEMS

WASTE

GARBAGE ROOM

4. A storage room shall be provided for larger items that do not fit in the multiple sort disposal system, such as bulky items, large appliances, furniture and oversize cardboard.

provided on every floor, using three separate chutes

Waste Collection Area - East end

- 5. The waste storage facility, pursuant the Ontario Building Code, must meet the minimum standards for ventilation and odour control.
- 6. A minimum vertical clearance of 4.5 m shall be observed throughout the entire access route

LOADING

- 7. Loading pad shall be finished with min. 200mm depth of concrete
- 8. Loading pad grade shall not exceed +/-2% in any direction
- 9. Waste bins will be located for pick up by property management staff

3yd³ GARBAGE /BULK/ ITEMS/ SHORT TERM BIKE RACKS Waste Collection Area, Ph 1

WASTE BINS CALCULATION - PHASE 1

NUMBER OF UNITS: RECYCLING (uncompacted): WASTE (compacted): ORGANICS (uncompacted):

228 BACK-TO-BACK TOWNHOUSES 60 UNITS / 3.06 cu. m. CONTAINER - TOTAL 4 BINS 67 UNITS / 3.06 cu. m. CONTAINER - TOTAL 4 BINS 51 UNITS / 2.29 cu. m. CONTAINER - TOTAL 5 BINS

WASTE BINS CALCULATION - PHASE - 2 (a)

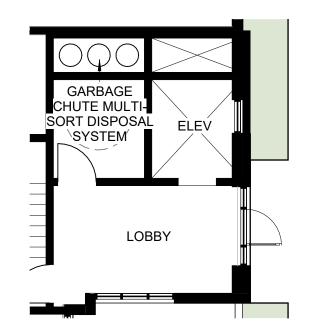
NUMBER OF UNITS: RECYCLING (uncompacted): WASTE (compacted): ORGANICS (uncompacted):

393 CONDOMINUIM UNITS 60 UNITS / 3.06 cu. m. CONTAINER - TOTAL 7 BINS 67 UNITS / 3.06 cu. m. CONTAINER - TOTAL 6 BINS 51 UNITS / 2.29 cu. m. CONTAINER - TOTAL 8 BINS (a) excludes private commercial waste pickup

WASTE BINS CALCULATION - PHASE 3

NUMBER OF UNITS: RECYCLING (uncompacted): WASTE (compacted): ORGANICS (uncompacted):

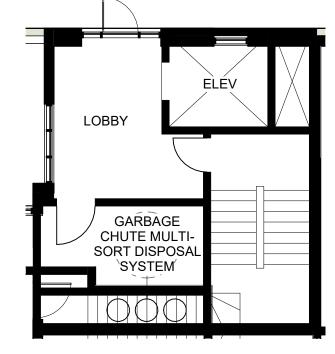
141 CONDIMINIUM UNITS 60 UNITS / 3.06 cu. m. CONTAINER - TOTAL 3 BINS 67 UNITS / 3.06 cu. m. CONTAINER - TOTAL 3 BINS 51 UNITS / 2.29 cu. m. CONTAINER - TOTAL 3 BINS



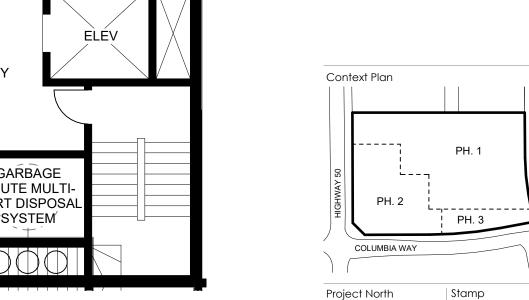
7 P1 - Key Plan

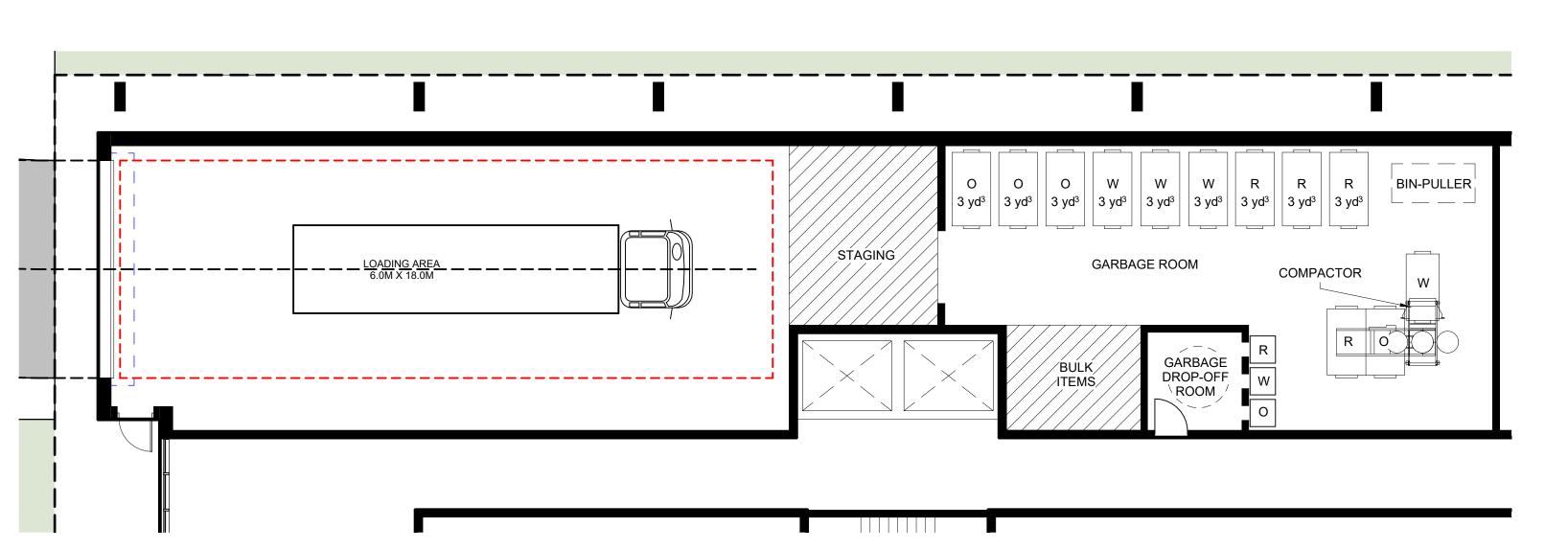
2 A801

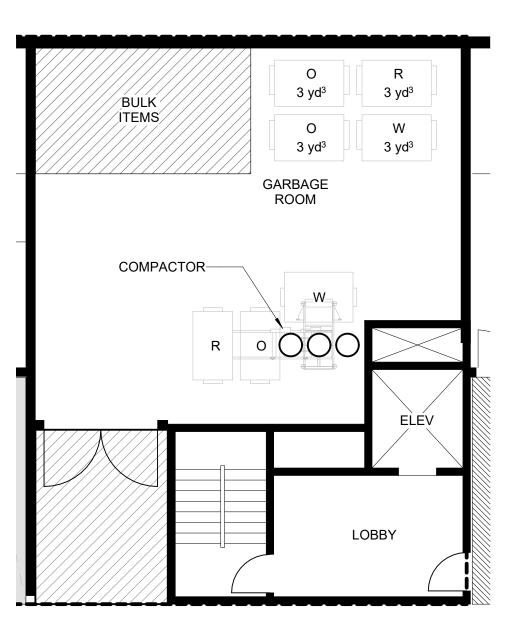
8 Waste Collection Chute - Blk 'C'



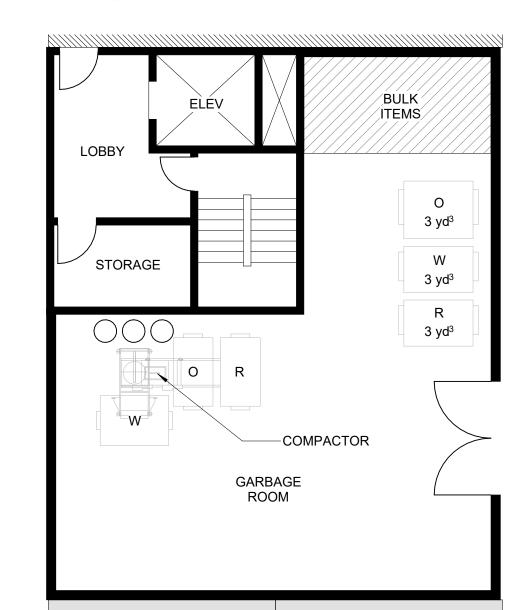
9 Waste Collection Chute - Block 'J'



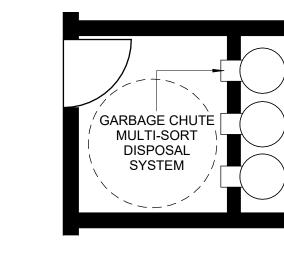




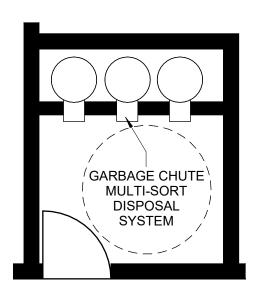
P1 Waste Collection Area, Ph 1 - Blk 'C'



P1 Waste Collection Area, Ph 1 - Blk 'J'







12 Typ Flr. Res. Grbg. Rm. - Ph 3



COLUMBIA

SQUARE

supplied as digital data may be reproduced, stored in a

All dimensions to be checked on site by the contractor Drawings are not to be scaled, any discrepancies are to be

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WASTE MANAGEMENT PLAN PHASE 1, 2, 3

WASTE COLLECTION NOTES

limestone or equivalent

conform to the following:

A) Design code ontario building code