

Urban Design Brief

Zoning By-law Amendment
Official Plan Amendment

15, 21 & 27 SHORE STREET TOWN OF CALEDON, ON

Prepared By

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Prepared For

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1.0 INTRODUCTION

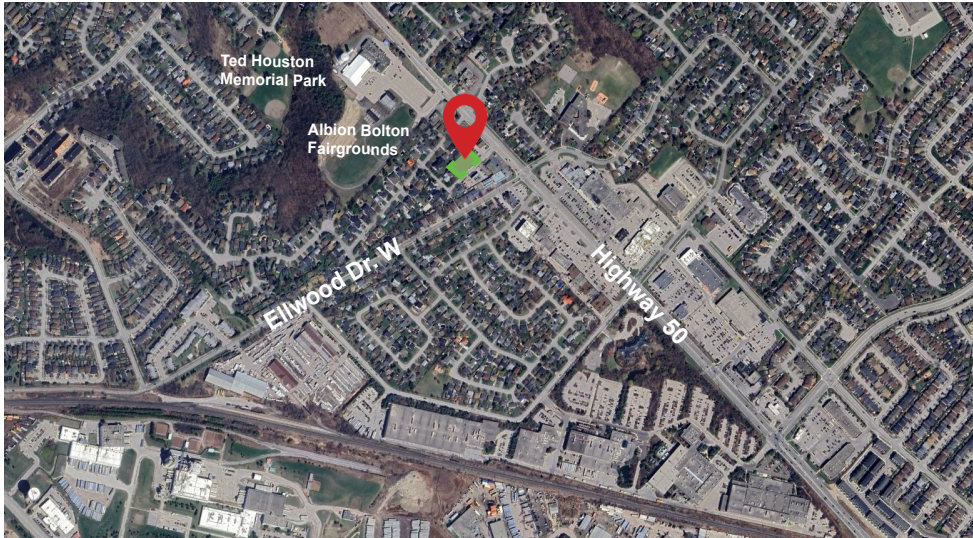


Figure 1: Site Context

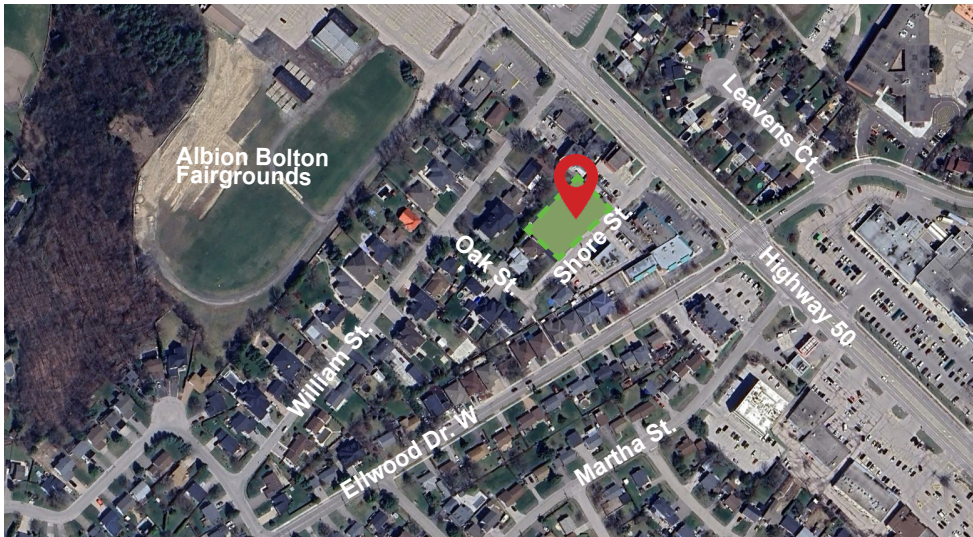


Figure 2: Site Context

1.1 CONTEXT

The proposed residential project on Shore Street in Caledon is strategically located along Highway 50, offering numerous benefits due to its proximity to key sites like the Albion Bolton Fairgrounds, Bolton Plaza, and Bolton Country Plaza. Situated at the corner of Martha Street and Highway 50, Bolton Plaza and Bolton Country Plaza are home to notable establishments such as Petro-Canada, Food Basics, Dollarama, Scotia Bank, Subway, and other similar stores.

The area is also surrounded by several educational institutions, including Holy Family Elementary School, Ellwood Memorial Public School, and Allan Drive Middle School.

This brief has been prepared to provide a high-level overview suitable for an OPA and ZBA application, as well as to address specific issues raised during the pre-application meeting, including:

- External improvements to the municipal right-of-way on Shore Street
- Urbanization of Shore Street from Highway 50

As outlined in the Landscape Plan (page 8) and Site Plan (page 5), the proposed development includes the installation of a pedestrian sidewalk along Shore Street and amenities such as a pet relief area. Additionally, the plan provides for 23 regular parking spaces and 2 accessible parking spaces to support the intended use of the site.

1.2 SURROUNDING CONTEXT MAP

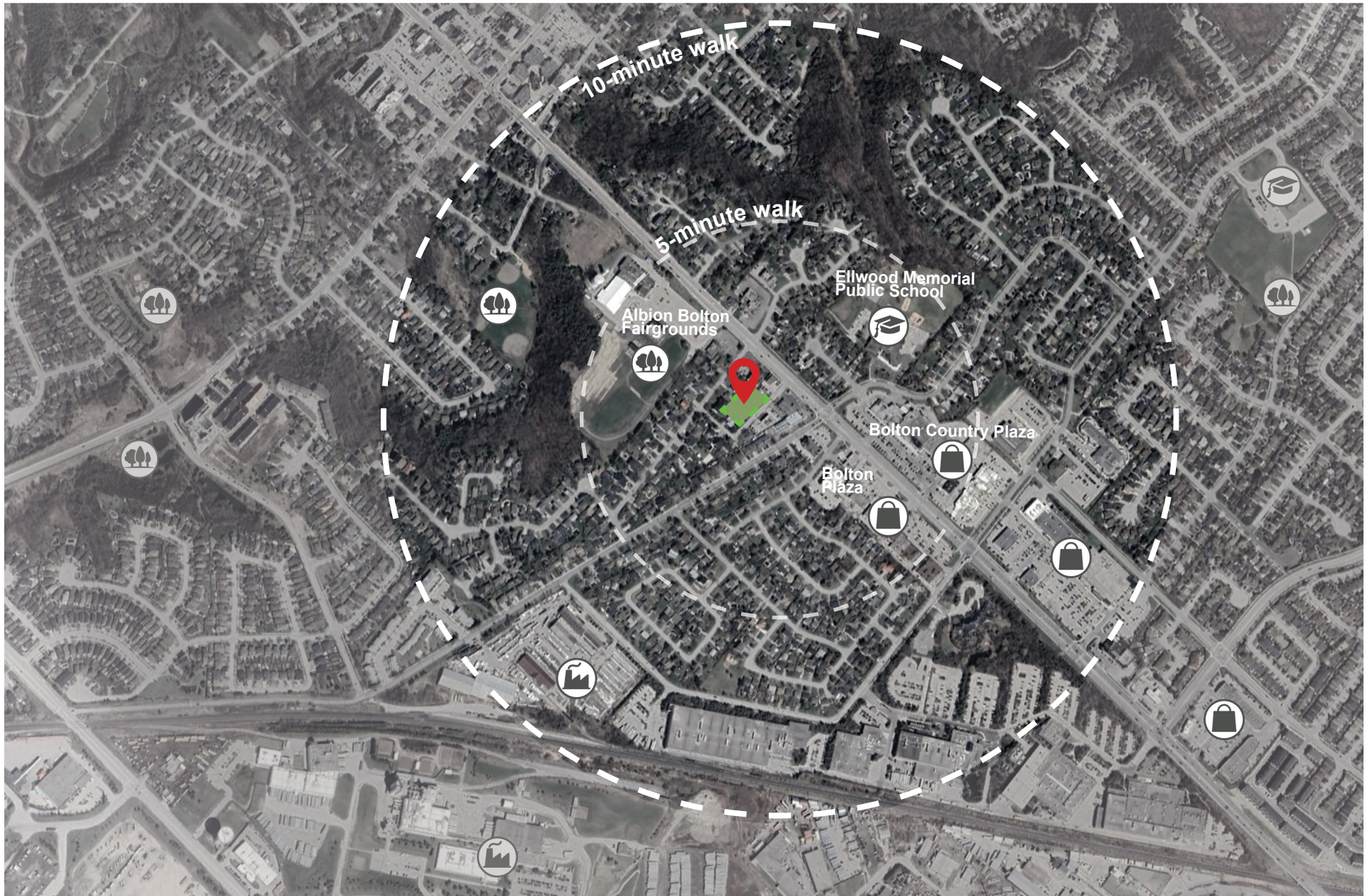


Figure 3: Surrounding Context Map

1.3 DESIGN VISION & PRINCIPLES

The proposed development will establish a secure and attractive residential area that enhances the Bolton community and the overall Town of Bolton. It will feature a high level of urban and architectural design, while being mindful of the natural environment and preserving the community's character.

Design Principles

Healthy & Attractive Streetscape

The landscaping, architectural character, and style of the streetscape should adhere to the key design elements outlined in the Bolton Urban Design Guidelines. The development should define and create a hierarchy of public open spaces while establishing clear, pedestrian-friendly streets.

Transit-Supportive Built Form

The development should encourage and support all modes of transportation, including transit, within different residential neighborhoods. The site should adopt a land use and development pattern that promotes good connectivity and mobility for automobiles, cyclists, and pedestrians.

Link to the Community

The development should foster strong connections with the local community. Where feasible, the site should incorporate pedestrian pathways to the community center, enhancing accessibility and encouraging active participation in community life. The design should promote a seamless integration between the residential area and the community center, strengthening the social fabric of Bolton.

1.4 SITE PLAN AND DEVELOPMENT VISION

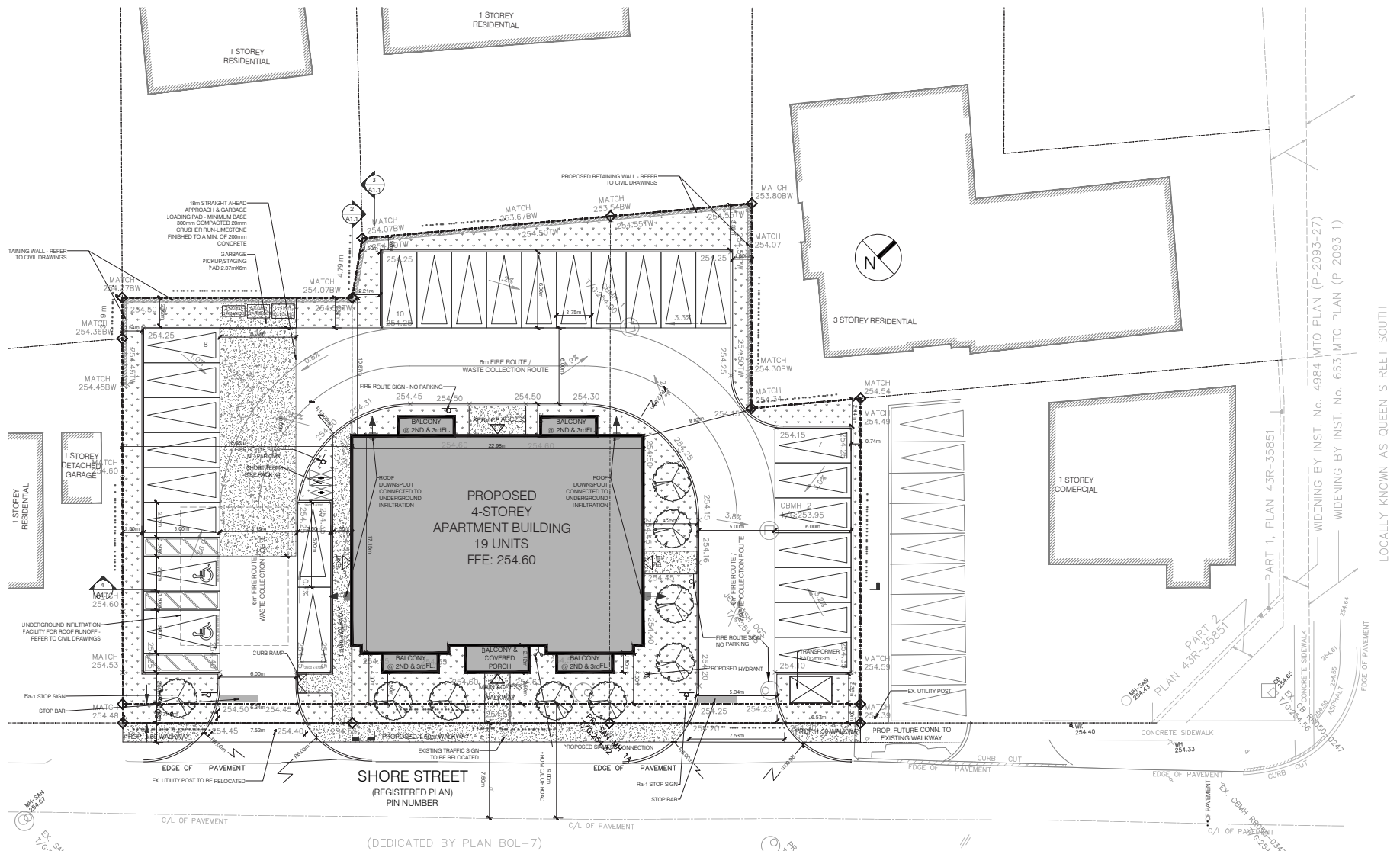


Figure 4: Site Plan

The proposed 4-storey apartment building consist of 19 units, 23 regular parking spaces, 2 accessible parking spaces and 14 bike parking spaces. On site amenity includes a pet relief area and eentrance seating plaza with plantings. A 1.5m concrete sidewalk is also proposed to urbanize the Shore Street frontage and provide pedestrian connection to Highway 50.

1.5 POLICY CONTEXT

Town of Caledon - Official Plan (2024)

The Official Plan for the Town of Caledon outlines principles, goals, and policies to guide future land use, development, and their impacts on the social, economic, and natural environment. It serves as a foundation for local and regional service provision, zoning, and by-laws. The Plan provides direction for Council, municipal departments, and other local entities, and aims to involve the public in shaping the town's future while enhancing residents' quality of life. It applies to all lands within Caledon's boundaries.

The project adheres to the principles and goals outlined in the Plan, supporting balanced land use and development that considers social, economic, and environmental impacts.

Caledon Town-Wide Design Guidelines (2017)

The guideline provide a comprehensive framework for shaping the physical development of the Town of Caledon, Ontario. Published in November 2017, these guidelines aim to ensure that new development and redevelopment in Caledon are consistent with the town's vision for a sustainable, attractive, and cohesive community.

the town's character through its choice of materials and architectural details. It includes amenities such as a dog relief area, bike racks, and wide walkways, fostering social interaction and supporting active transportation. Located near the community center, the design emphasizes high standards of both functionality and visual appeal. Furthermore, the development improves connectivity with easy access to public transit and features inclusive elements like ramps and elevators to ensure accessibility for all residents and visitors.

2.0 URBAN DESIGN: PUBLIC AND PRIVATE REALM

2.1 NEIGHBOURHOOD STRUCTURE

The surrounding neighborhood features a diverse mix of amenities, including parkland, community centre, retail outlets, and residential properties. Notably, Albion Bolton Community Centre, which offers an indoor hockey rink, a library and the Albion Bolton Fariground, is situated in close proximity to the site. Nearby is the Bolton Plaza and Bolton Country Plaza, which includes Petro-Canada, Food Basics, Subway, Scotia Bank, Dollarama, and other retail amenities. The area is served by several educational institutions, such as Holy Family Elementary School, Ellwood Memorial Public School, and Allan Drive Middle School.

2.2 ARCHITECTURAL DESIGN INTENT

The proposed mid-rise residential building features a design that draws inspiration from classic architectural styles, particularly those seen in Ontario and Bolton. The building's facade is marked by its symmetry, a key design element that reinforces its timeless appearance. The structure is topped with a dark-colored low-pitched hip roof, which enhances its traditional aesthetic. The exterior walls are clad in poly-chromic brickwork, with a dominant red brick complemented by buff brick accents and quoining. A light-colored stone skirt runs along the base of the building, helping to define its presence and anchor it visually within the urban landscape.

The entrance to the building is distinguished by a porch with a flat roof that extrudes out from the main wall, creating a welcoming focal point. This canopy, along with the carefully proportioned windows, echoes the classic design language. The windows are sized and arranged to maintain a consistent rhythm across the facade, further enhancing the building's symmetry and connection to traditional architectural forms. Overall, the design balances historical references with modern functionality, resulting in a structure that fits seamlessly into its urban context.



Figure 5: Existing Condition of Shore Street



Figure 6: Shore St & Hwy 50



Figure 7: Albion Bolton Community Centre, Library and Fariground

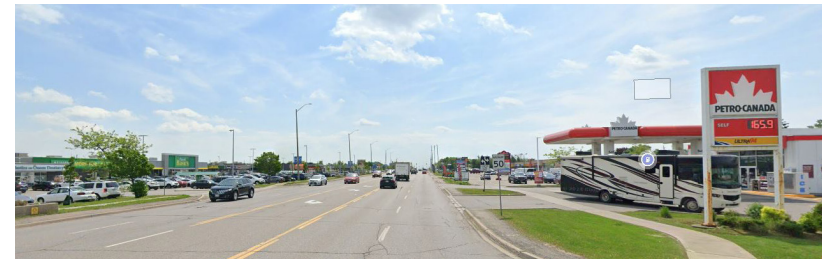


Figure 8: Bolton Plaza and Bolton Country Plaza along Hwy 50

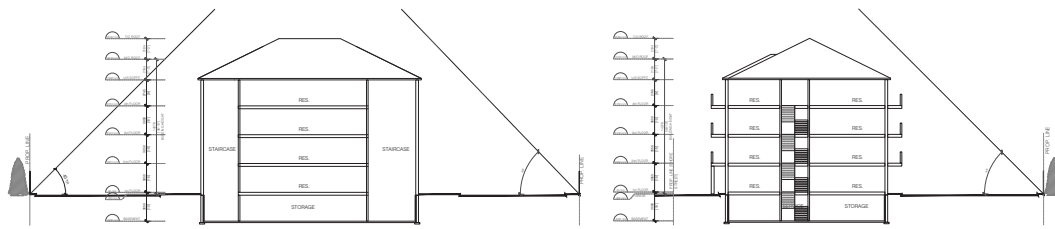


Figure 10: Site Analysis

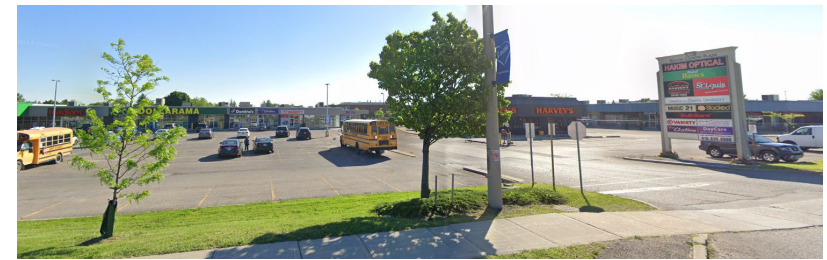


Figure 9: Bolton Country Plaza

3.0 LANDSCAPE

3.1 STREETScape

Landscape enhancements along the frontages of the development, along Shore Street, will enhance the current streetscape. Plant selection has been carefully coordinated with the site's usage and amenities to strengthen the harmonious relationship between the landscape and built form.

Proposed plantings will effectively screen the parking areas with appropriate vegetation, minimizing visual impact. Throughout the site, shrubs and perennials will be strategically placed, adhering to the guidelines set by the City of Vaughan. This approach aims to establish a cohesive and vibrant internal aesthetic, achieving:

- Seasonal variation for colour and interest;
- Support pollinators and on-site storm water management techniques;
- Significant scale and form to add structure;
- Biological diversity to mitigate risks associated with monoculture plantings;
- Selection of species well-suited for urban environments.

3.2 LANDSCAPE GOALS

The objective of the development is to establish an appealing design through thoughtful landscape treatments, serving as a benchmark for future developments in the area. This objective will be accomplished through the following strategies:

- The site's overall landscape design will harmonize with the surrounding context, integrating plantings that complement the existing vegetation to remain;
- Planted buffers will be established to create a sufficient wind screening and visual separation from Shore Street and the adjacent lots;
- Site furniture with planting in front of the main entrance and along Shore Street provide strong sense of arrival and characterize streetscape while providing sufficient screening and privacy for residents;
- Implementation of sustainable landscape practices, such as utilizing a low-maintenance, native plant selection and foregoing the use of an irrigation system;
- Continuous planting beds, featuring a variety of deciduous species, will define a clear and refined edge, facilitating a seamless transition between the built environment and the street.



Figure 11: Bench



Figure 12: Ornamental Tree



Figure 13: Metal Fence

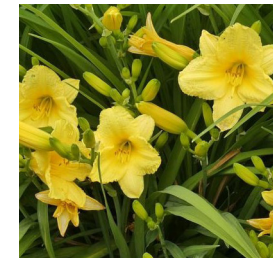


Figure 14: Perennials

3.3 LANDSCAPE PLAN

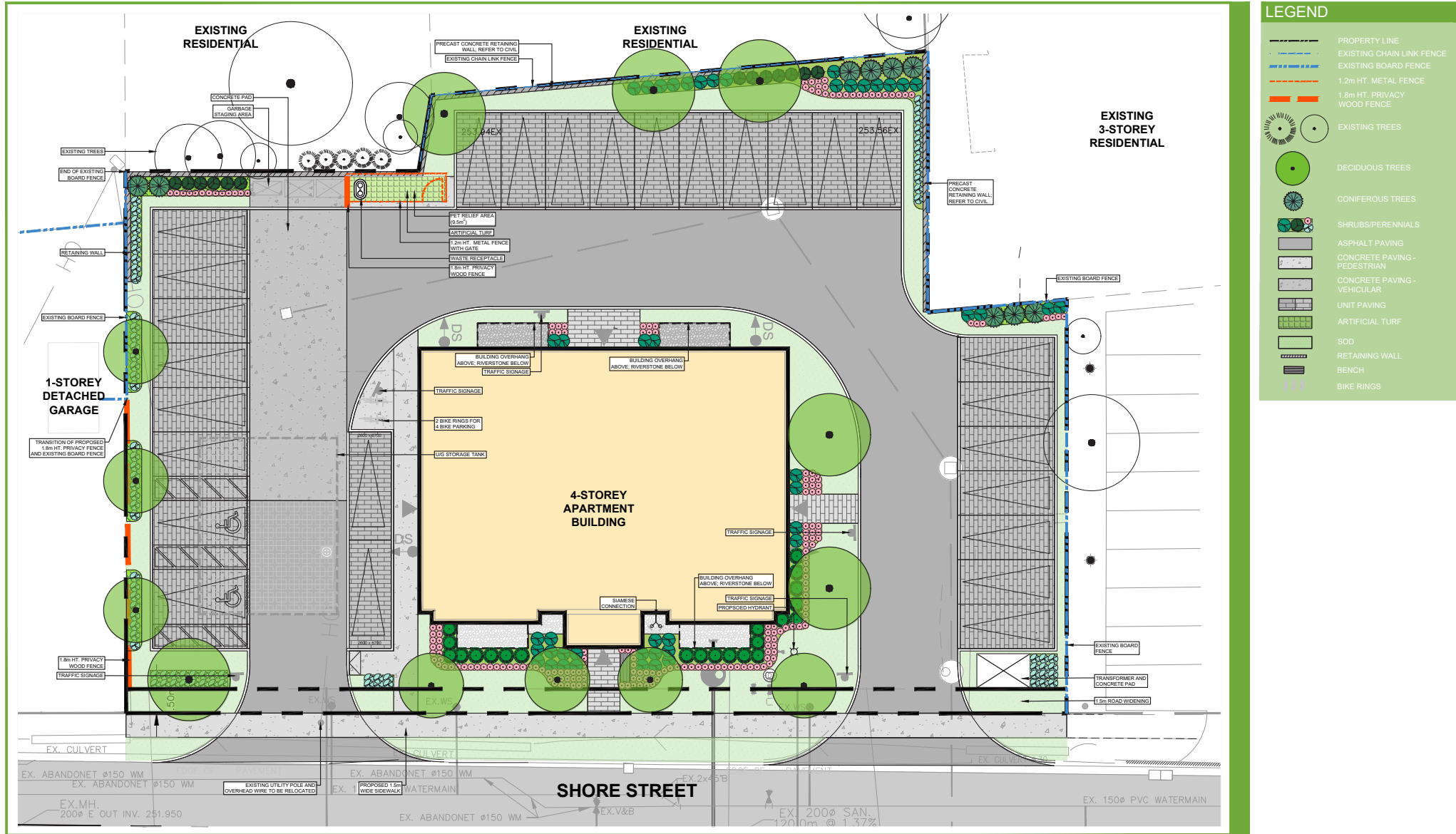


Figure 15: Landscape Plan

4.0 BUILT FORM

4.1 SECTION ELEVATION DRAWINGS



Figure 16: Front Elevation (South)

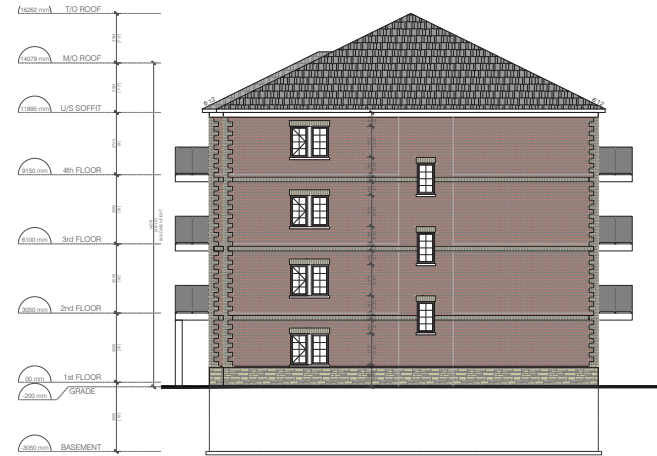


Figure 17: Side Elevation (East)



Figure 18: Rear Elevation (North)

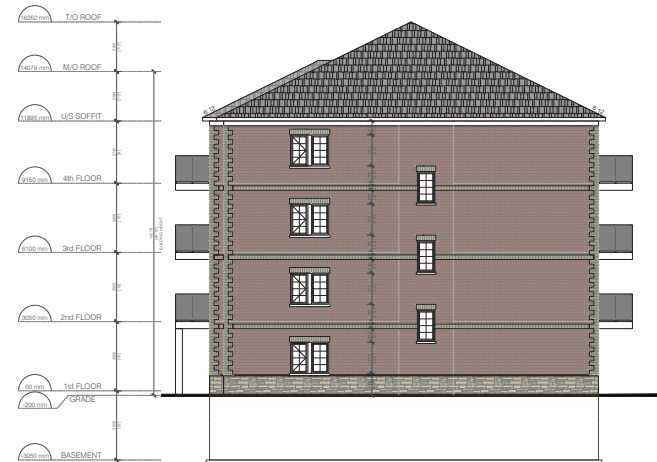


Figure 19: Side Elevation (West)

5.0 DESIGN CONSIDERATIONS

5.1 SUSTAINABILITY SUMMARY

The proposed development aims to showcase sustainable practices through several key initiatives. It includes the use of low-water-consumption plant materials and maximizes the use of native plants sourced from local nurseries. The design fosters the creation of animal habitats and green corridors to enhance biodiversity, while encouraging stormwater infiltration and promoting groundwater recharge to mitigate water runoff issues. Additionally, the project employs durable, recyclable products and materials. It also promotes active transportation by providing pedestrian connections and bike racks, ensuring walkable destinations are accessible to all residents within a five-minute walk.

5.2 CIRCULATION

The project enhances circulation within the urban site context by introducing a 1.5-meter-wide concrete sidewalk that seamlessly connects with existing sidewalk portions. This design ensures a continuous and accessible pedestrian route, integrating smoothly with the current infrastructure. Additionally, the proposed sidewalk is strategically placed in close proximity to bike racks, providing a direct connection between cyclists and the pedestrian path. This arrangement supports efficient movement for both pedestrians and cyclists, promoting a cohesive and user-friendly urban environment.

Furthermore, the new sidewalk promotes improved circulation to adjacent amenities, such as Albion Bolton Fairgrounds, Bolton Plaza, and Bolton Country Plaza. By facilitating direct and convenient access to these key locations, the sidewalk encourages increased pedestrian and cycle traffic, enhancing connectivity and supporting vibrant community engagement in these important areas.

6.0 CONCLUSION

6.1 CONCLUSION

In conclusion, this four-story residential project enhances the living experience for its residents and positively impacts the surrounding community. The addition of a 1.5-meter-wide sidewalk along Shore Street promotes safe and accessible pedestrian movement. With bike racks integrated into the design, we support a culture of active transportation, while the pet relief area offers convenient amenities for pet owners, enhancing overall livability. The carefully planned landscape and planting design harmonizes with the local context, creating an inviting environment that complements its surroundings. Moreover, the development adheres to the Caledon Town Wide Design Guidelines and respects the existing architectural style, ensuring seamless integration within the neighborhood. It is our opinion that the proposed development will contribute to the vision for the community in creating a compact, walkable neighbourhood that adds a compatible variation to contemporary trends in land use development. The increase in density will also support nearby commercial areas like Bolton Plaza and Bolton Country Plaza, fostering economic vitality in the community. Together, these elements reflect our commitment to sustainability, community engagement, and a high quality of life for the community.

7.1 Appendix - Urban Design Metrics

Policy / Guidelines	Compliance	Non-Compliance	Not Applicable	Commentary
Town Wide Design Guidelines				
6.0 - The Public Realm				
6.1.1			X	
6.1.2			X	
6.2			X	
6.3.1 - a	X			1.5m wide concrete sidewalk has been provided.
6.3.1 - b	X			
6.3.1 - c	X			
6.3.1 - d	X			
6.3.1 - e	X			
6.3.1 - f	X			
6.3.1 - g			X	
6.3.1 - h			X	
6.3.1 - i			X	
6.3.1 - j			X	
6.3.1 - k		X		
6.3.2 - a	X			
6.3.2 - b			X	
6.3.2 - c	X			
6.3.2 - d			X	
6.3.2 - e	X			
6.3.3			X	
6.3.4			X	
6.3.5			X	
6.3.6			X	
6.3.7			X	
6.4			X	
6.5			X	
6.6			X	
6.7			X	
7.0 - Green Building Initiatives				
7.1	X			
8.0 - Residential Development				
8.1.1 - a			X	
8.1.1 - b	X			
8.1.1 - c			X	
8.1.1 - d	X			
8.1.1 - e	X			
8.1.1 - f	X			
8.1.1 - g	X			
8.1.2			X	
8.1.3			X	
8.1.4			X	
8.1.5			X	
8.1.6			X	
8.1.7 - a	X			
8.1.7 - b	X			
8.1.7 - c	X			
8.1.7 - d	X			
8.1.7 - e			X	
8.1.7 - f	X			
8.1.7 - g	X			
8.1.7 - h	X			
8.1.7 - i	X			
8.1.7 - j			X	

8.1.7 - k	X			
8.1.7 - l	X			
8.1.7 - m	X			
8.1.7 - n	X			
8.1.7 - o			X	
8.1.7 - p	X			
8.1.7 - q	X			
8.1.7 - r	X			
8.1.7 - s			X	
8.1.7 - t	X			
8.1.7 - u			X	
8.1.7 - v			X	
8.1.7 - w			X	
8.1.7 - x	X			
8.1.7 - y	X			
8.1.7 - z	X			
8.1.7 - aa			X	
8.1.7 - ab		X		
8.1.7 - ac			X	
8.1.7 - ad	X			
8.2 - a	X			
8.2 - b	X			
8.2 - c	X			
8.2 - d	X			
8.2 - e	X			
8.2 - f	X			
8.2 - g	X			Plant species will be provided in detailed design
8.2 - h	X			
8.2 - i	X			
8.2.1 - a			X	
8.2.1 - b	X			
8.2.1 - c	X			
8.2.1 - d	X			
8.2.1 - e			X	
8.2.2 - a		X		
8.2.2 - b			X	
8.2.2 - c	X			
8.2.2 - d	X			
8.2.2 - e	X			
8.2.2 - f	X			
8.2.2 - g			X	
8.2.2 - h			X	
8.2.2 - i	X			
8.2.2 - j	X			
8.3 - a	X			Water, Sanitary, and Storm utilities located either underground or internal to the building. Exception being the Private Hydrant being located at the front for safety reasons.
8.3 - b	X			Co-ordinated with landscaping.
8.3 - c	X			
8.3 - d	X			Water meter to be internal to the buildings as per Region of Peel Standard drawing 1-8-3. Gas and electrical utility to be confirmed during detailed design.

8.3 - e	X			Water, Sanitary, and Storm utilities will not impact public realm, will not interrupt neighbouring properties, and not impact open space.
8.3 - f	X			Refers to aboveground utility boxes and lighting. to be confirmed during detailed design.
8.3 - g			X	Further information to be provided at detailed design stage
8.3 - h			X	Further information to be provided at detailed design stage